



## STAFF REPORT

### Floyd County Board of Zoning Appeals

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Docket Number: FC-05-26-26

Petitioner: NAFC Schools- Matt Wendt, Representative Cole Cooper with BRCJ

Location: 6575 Old Vincennes Road, Floyds Knobs, IN 47119, 22-03-01-400-061.000-04

Request: Conditional Use- Athletic field, accessory to a school use in a residential zoning district

Zoning District: Rural Residential (RR)

Date: 6/22/2026

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#### Overview:

Petitioner is requesting a conditional use to allow a proposed softball field as an accessory use to the Floyd Central school campus, containing 214.03 acres across several parcels in the Georgetown Township and located along Old Vincennes Road and approximately 2 miles from the intersection of Old Vincennes Road and Highway 150. As the site is zoned Rural Residential, a conditional use is required for the school and any expansions not covered under the plans of a previous conditional use approval.

The proposed softball field would be located to the northwest of the existing school building and include a synthetic turf playing field, sports lighting, pressbox, concession stand, and spectator bleachers.

1. The conditional use will not be injurious to the public health, safety, morals, and general welfare of the community:
  - a. The proposal will provide a community gathering space and encourage healthy activities through a youth sports program.
2. The use and value of area adjacent to the property will not be adversely affected:
  - a. The subject property is already in use as a high school campus with existing athletic facilities. The proposed use is not expected to greatly increase the intensity of the existing use on the site.
3. The need for the conditional use results from conditions, unusual or peculiar to the subject property itself:
  - a. A conditional use is required due to the zoning of the property as Rural Residential. An existing school is present on the site.
4. The strict application of the terms of the Floyd County Zoning Ordinance would result in an unnecessary hardship in the use of the property:
  - a. A rezone to a higher intensity zoning district would allow many uses which would not fit with this area, while a school is listed as a conditional use.
5. Approval of the Conditional Use will not contradict the goals and objectives of the Floyd County Comprehensive Plan:
  - a. In the comprehensive plan community survey, 82% of participants agreed with Improving Public Infrastructure as a preference for the community. Within the Theme of Place to Play, Creating Public Spaces and Expanding Recreational and Park Activities were listed as objectives.



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### Floyd County Board of Zoning Appeals

#### Staff Comments:

On June 4<sup>th</sup>, a Technical Review Committee was held to review the development plans for this proposal. Further information was requested regarding both lighting and a retaining wall, which has since been provided.

For the Neighborhood Commercial Zoning District, where this use is allowed by right-

1. Petitioner ( **HAS** / HAS NOT ) met all developmental standards for the district.

5.06 Accessory Use/Structure Standards (**setbacks met, even with buffer distance added**)

5.07 Accessory Use/Structure Standards (**n/a**)

5.20 Parking

5.21 Parking Standards

**(no new parking lot being added, ADA parking spaces added to former drop off lane)**

5.44 Building Site and Orientation

5.45 Building Orientation Standards

**(interior to lot, n/a)**

5.63 Architectural Standards

5.64 General Standards

5.65 Architecture

**(Consistent, requested applicant expand on this)**

5.14 Loading Standards (**n/a**)

5.47 Site Access and Circulation (**n/a**)

5.50 Pedestrian Amenities

5.51 Pedestrian Amenities

5.52 External/Perimeter Sidewalks and Pathways

5.53 Internal Sidewalks and Pathways

**(Access to site is ADA accessible)**

5.55 Lighting Standards

5.56 Exterior Lighting

5.57 Parking Lot and Security Lighting

**(Lighting Plan submitted, meets requirements, Section 5.03 Height permits maximum of 60' for athletic field lighting standards)**

5.09 Buffer Yard Standards

5.13 Landscaping Standards

**(There are existing trees along Edwardsville Galena Road and Old Vincennes Road)**



## STAFF REPORT

### Floyd County Board of Zoning Appeals

2. A waiver of the development standards requirements ( IS / **IS NOT** ) required.
3. The proposed development plan ( **IS** / IS NOT ) consistent with the Comprehensive Plan because:  
See above
4. The proposed development plan ( **IS** / IS NOT ) consistent with the intent of the District as set forth in the Floyd County Zoning Ordinance because:
5. The proposed development plan ( **DOES** / DOES NOT ) satisfy the following development requirements: **(Strike out any requirement that does not apply)**
  - A. ~~Signage is designed to create a unified and consistent sign package.~~
  - B. ~~Design and location of street access points minimize congestion.~~
  - C. ~~Entrances, streets, and internal traffic facilities are compatible with existing and planned streets in adjacent developments.~~
  - D. ~~Design and layout of the development has a clear circulation pattern that is sensitive to topography and other natural features.~~
  - E. Design of the proposed development plan provides adequate pedestrian connections within the development and safe street crossings to adjacent land uses.
  - F. Lighting is designed to create a unified and consistent lighting package for the development.
  - G. Lighting in parking areas do not exceed 20 feet in height.
6. The proposed development ( IS / **IS NOT** ) in a Residential Urban.  
The proposed development ( IS / **IS NOT** ) a Multi-Family development.
7. The proposed development ( IS / **IS NOT** ) located in the Highlander Point District or the Edwardsville Gateway District.



**STAFF REPORT**  
Floyd County Board of Zoning Appeals



*Source: Google Streetview, image looking south onto site from Old Vincennes Road*



*Source: Google Streetview, image looking north onto site from Edwardsville Galena Road*

# NOTICE OF PUBLIC HEARING

## Description of Proposed Docket:

The applicant NAFC Schools, Representative Cole Cooper BRCJ is seeking a:

- Development Standards Variance
- Conditional Use
- Special Exception
- Administrative Appeal

From the **Floyd County Board of Zoning Appeals.**

<b>Street Address (see enclosed map):</b>
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6575 Old Vincennes Road, Floyds Knobs, IN 47119
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Parcel ID #: 220301400061.000004
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<b>Description of Project:</b>
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Expansion of the school use in the rural residential zoning district for a new softball field
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This is a notice that a public hearing regarding the proposed docket item will be on Monday, June 22<sup>nd</sup>, 5 p.m. located in **Suite 104 at the Pineview Government Center, 2524 Corydon Pike New Albany, IN 47150.**

**Please note that information about the proposed docket item can be found at the following:**

Floyd County Building and Development Services

2524 Corydon Pike Suite 202

New Albany, IN 47150

Monday- Friday 8AM to 4PM

812.981.7611

[Building@floydcounty.in.gov](mailto:Building@floydcounty.in.gov)

Online: Floyd County Government Website [www.floydcounty.in.gov](http://www.floydcounty.in.gov)

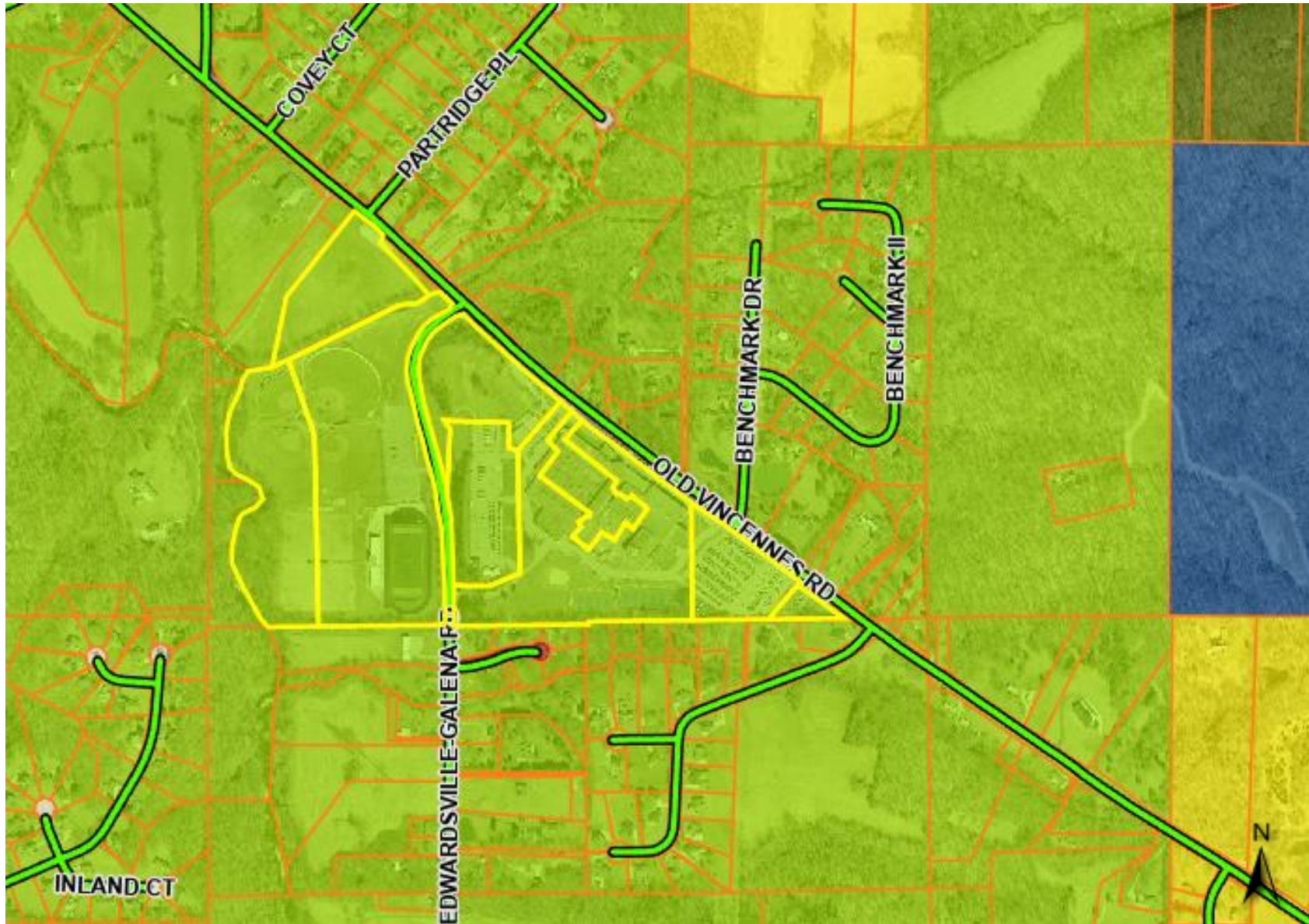


Floyd County, IN

# Aerial Zoning Map

6575 Old Vincennes Road

Created by: null



- Corporate Boundaries
- Parcels
- County Zone Map
  - AR - Agriculture
  - RR - Rural Residential
  - PD-RR - Planned Development
  - RS - Residential Suburban
  - PD-RS - Planned Development
  - RU - Residential Urban
  - MF - Multi-Family
  - NC - Neighborhood Commercial
  - PD-NC - Planned Development
  - HS - Highway Service
  - GC - General Commercial
  - PD-GC - Planned Development
  - PR - Park
  - GI - General Industrial
  - OB - Office Business
  - PU - Plan Unit
  - Other Values

# BOUNDARY SURVEY

A part of the SW1/4, and part of the SW1/4 of the SE1/4, all in Section 14, T2S, R5E, Floyd Co., Indiana

**WEST TRACT - 49.26 Acres (West of Edwardsville-Galena Road)**  
 New Albany Floyd County Consolidated School Corporation  
 BRG Project No. 5921

**REPORT OF SURVEY JOB #5921**

A part of the Southwest Quarter and a part of the Southwest Quarter of the Southeast Quarter of Section 14, Township 2 South, Range 5 East, Greenville Township, Floyd County, Indiana

A part of the Southwest Quarter of Section 14, Township 2 South, Range 5 East, Greenville Township, Floyd County, Indiana, described as follows:

Commencing at a stone marking the southwest corner of said Section 14; thence along the south line of said section, NORTH 89 degrees 27 minutes 50 seconds EAST, 165.00 feet to a 1/2 inch rebar at the southeast corner of Stafford property recorded as Instrument No. 200613655 and the POINT OF BEGINNING; thence along the east line of said Stafford property, NORTH 00 degrees 07 minutes 56 seconds WEST, 1412.93 feet (passing over a marked 5/8 inch rebar at 100.00 feet); thence NORTH 76 degrees 34 minutes 38 seconds EAST, 136.57 feet; thence NORTH 64 degrees 22 minutes 50 seconds EAST, 59.27 feet; thence NORTH 05 degrees 09 minutes 20 seconds EAST, 433.90 feet to a 1/2 inch rebar (passing over a marked 5/8 inch rebar at 300.00 feet); thence NORTH 33 degrees 10 minutes 34 seconds EAST, 581.04 feet to a 1/2 inch rebar; thence SOUTH 58 degrees 42 minutes 40 seconds EAST, 265.16 feet to the centerline of Old Vincennes Road; thence continuing along said centerline, SOUTH 43 degrees 31 minutes 09 seconds EAST, 130.97 feet; thence leaving said centerline, SOUTH 43 degrees 24 minutes 41 seconds WEST, 16.50 feet to a marked 5/8 inch rebar on the southwesterly right of way of Old Vincennes Road; thence along said right of way the next Three (3) courses: 1) SOUTH 39 degrees 22 minutes 11 seconds EAST, 226.80 feet; thence 2) SOUTH 43 degrees 43 minutes 35 seconds EAST, 100.12 feet; thence 3) SOUTH 30 degrees 35 minutes 24 seconds EAST, 134.92 feet to a marked 5/8 inch rebar on the westerly right of way of the Edwardsville-Galena Road; thence along said right of way the next Nine (9) courses: 1) SOUTH 52 degrees 41 minutes 49 seconds WEST, 64.45 feet; thence 2) SOUTH 40 degrees 35 minutes 30 seconds WEST, 112.64 feet; thence 3) SOUTH 27 degrees 03 minutes 39 seconds WEST, 110.22 feet; thence 4) SOUTH 16 degrees 12 minutes 36 seconds WEST, 110.22 feet; thence 5) SOUTH 04 degrees 56 minutes 21 seconds EAST, 110.22 feet; thence 6) SOUTH 09 degrees 07 minutes 52 seconds EAST, 232.88 feet; thence 7) SOUTH 08 degrees 29 minutes 53 seconds WEST, 69.04 feet; thence 8) SOUTH 00 degrees 16 minutes 14 seconds WEST, 85.48 feet; thence 9) SOUTH 25 degrees 26 minutes 26 seconds WEST, 35.27 feet; thence 10) SOUTH 00 degrees 16 minutes 14 seconds WEST, 75.00 feet; thence 11) SOUTH 30 degrees 40 minutes 05 seconds WEST, 29.18 feet; thence 12) SOUTH 03 degrees 55 minutes 00 seconds WEST, 151.70 feet; thence 13) SOUTH 28 degrees 10 minutes 36 seconds WEST, 319.34 feet; thence 14) SOUTH 48 degrees 06 minutes 24 seconds WEST, 58.68 feet; thence 15) SOUTH 56 degrees 28 minutes 28 seconds EAST, 139.03 feet; thence 16) SOUTH 65 degrees 28 minutes 04 seconds EAST, 49.34 feet; thence 17) SOUTH 46 degrees 35 minutes 19 seconds WEST, 65.00 feet; thence 18) SOUTH 43 degrees 42 minutes 51 seconds EAST, 332.08 feet; thence 19) SOUTH 80 degrees 12 minutes 14 seconds WEST, 32.10 feet; thence 20) SOUTH 52 degrees 54 minutes 13 seconds EAST, 247.78 feet; thence 21) SOUTH 37 degrees 03 minutes 00 seconds WEST, 277.33 feet; thence 22) SOUTH 00 degrees 07 minutes 10 seconds EAST, 16.50 feet;

In accordance with Title 865, Rule 12 of the Indiana Administrative Code, the following observations and opinions are submitted regarding the various uncertainties in the locations of the lines and corners established on this survey as a result of:  
 -The relative positional accuracy of the measurement.  
 -Availability and condition of reference monuments.  
 -Clarity or ambiguity of the record description used and of adjacent descriptions and the relationship of the lines of the subject tract with adjacent lines.  
 -Occupation or possession line.

**Subject Property Information**

The subject property is described in Deed Drawer 25, Instrument 53; Deed Drawer 47, Instrument 9832; Deed Drawer 6, Instrument 5069; and Deed Book 166, Page 20 of the Floyd County Records Office.

This retracement survey was made at the request of New Albany Floyd County Consolidated School Corporation.

**Positional Accuracy**

The Relative Positional Accuracy in the location of points shown on this survey are within that allowable for a Rural Survey (0.26 feet plus 200 ppm) as defined by Title 865, Rule 12 of the Indiana Administrative Code.

**Surveys Consulted**

The following surveys were consulted in establishing the lines and corners of this survey.

No.	Surveyor	Date	Recording Information
1	Paul Primavera	Feb. 3, 1998	Drawer 25, Inst. No. 1343
2	David Ruckman	June 3, 2002	Inst. No. 200209660 (Deed)
3	John Broadus P.E.	Nov. 8, 2000	INDOT Co. Rd. Plans (Project STP-7922 and STP-7722)
4	Paul Primavera	Sept. 4, 1996	Plat #1102 (Pebble Creek Subd.)
5			Plat #919 (Country Trace Subd.)

Note: A number of the subject deeds were prepared from past surveys by Condra Engineering Company in the 1960's.

**Corners Found**

- 1) Southwest corner of Section 14-- A stone 3"x5" limestone was found as noted on many survey and descriptions in the area.
- 2) Property corner stones-- A 5"x5" property corner stones was found on the section line at the northeast corner of the Country Trace subdivision (northwest corner of Pebble Creek Subdivision); A 5"x5" property corner stones was found at the southeast corner of the property described in Deed Drawer 6, Inst. No. 5069; A 3"x3" property corner stones was found on the southeast corner of the 16.50 foot offset along the south line of Deed Drawer 6, Inst. No. 5069
- 3) Iron pipe noted in Deed Drawer 6, Inst. No. 5069-- A 1" iron pipe was found flush at the northeast corner of the 16.50 foot offset along the south line of Deed Drawer 6, Inst. No. 5069.
- 4) Rebars set by Paul Primavera on the easterly line of the school property-- Three 1/2 inch rebars were found flush along the easterly corner of the Stafford property described as Inst. No. 200613655 (see plat).
- 5) Iron pins in road boxes were found in the centerline of Old Vincennes Road and Edwardsville-Galena Road marking the centerline of the INDOT Co. Rd. Plans for Project STP-7922 and STP-7722.

**EAST TRACT - 43.94 Acres (East of Edwardsville-Galena Road)**  
 New Albany Floyd County Consolidated School Corporation  
 BRG Project No. 5921

A part of the Southwest Quarter and a part of the Southwest Quarter of the Southeast Quarter of Section 14, Township 2 South, Range 5 East, Greenville Township, Floyd County, Indiana, described as follows:

Commencing at a stone marking the southwest corner of said Section 14; thence along the south line of said section, NORTH 89 degrees 27 minutes 50 seconds EAST, 1368.10 feet to a marked 5/8 inch rebar on the easterly right of way of the Edwardsville-Galena Road and the POINT OF BEGINNING; thence along said right of way the next Thirteen (13) courses: 1) NORTH 00 degrees 16 minutes 14 seconds EAST, 85.48 feet; 2) NORTH 25 degrees 26 minutes 26 seconds EAST, 35.27 feet; 3) NORTH 00 degrees 16 minutes 14 seconds EAST, 75.00 feet; 4) NORTH 30 degrees 40 minutes 05 seconds WEST, 29.18 feet; 5) NORTH 03 degrees 55 minutes 00 seconds WEST, 151.70 feet; 6) NORTH 00 degrees 37 minutes 24 seconds EAST, 654.30 feet to a curve concave Westerly, having a radius of 263.14 feet, and a chord of which bears NORTH 13 degrees 46 minutes 36 seconds WEST, a chord length of 130.88 feet; thence 7) Northerly along said curve an arc distance of 132.27 feet; thence 8) NORTH 28 degrees 10 minutes 36 seconds WEST, 319.34 feet to a curve concave Easterly, having a radius of 103.97 feet, and a chord of which bears NORTH 04 degrees 00 minutes 06 seconds WEST, a chord length of 85.16 feet; thence 9) Northerly along said curve an arc distance of 87.74 feet to a curve concave Southeasterly having a radius of 190.58 feet, and a chord of which bears NORTH 34 degrees 08 minutes 24 seconds EAST, a chord length of 92.00 feet; thence 10) Northeasterly along said curve an arc distance of 92.91 feet; thence 11) NORTH 48 degrees 06 minutes 24 seconds EAST, 58.68 feet; thence 12) NORTH 56 degrees 28 minutes 28 seconds EAST, 139.03 feet; thence 13) NORTH 65 degrees 28 minutes 04 seconds EAST, 49.34 feet to a marked 5/8 inch rebar on the southwesterly right of way of Old Vincennes Road; thence along said right of way the next Six (6) courses: 1) SOUTH 46 degrees 35 minutes 19 seconds EAST, 65.00 feet; thence 2) SOUTH 43 degrees 42 minutes 51 seconds EAST, 332.08 feet; thence 3) NORTH 80 degrees 12 minutes 14 seconds EAST, 32.10 feet to a curve concave Northeasterly, having a radius of 5754.58 feet, and a chord of which bears SOUTH 50 degrees 36 minutes 40 seconds EAST, a chord length of 376.10 feet; thence 4) Southeasterly along said curve an arc distance of 376.16 feet; thence 5) SOUTH 52 degrees 29 minutes 01 seconds EAST, 1322.35 feet; thence 6) SOUTH 52 degrees 54 minutes 13 seconds EAST, 247.78 feet to a marked 5/8 inch rebar on the eastern line of the property described in Deed Record 171, Page 307; thence leaving said right of way, SOUTH 37 degrees 03 minutes 00 seconds WEST, 277.33 feet to a stone marking the southeast corner of the property described in Deed Record 171, Page 307; thence along the south line of the property described in Deed Record 171, Page 307, SOUTH 89 degrees 09 minutes 58 seconds WEST, 458.59 feet to an iron pipe; thence SOUTH 89 degrees 27 minutes 50 seconds WEST, 544.50 feet to a stone on the south line of said section; thence SOUTH 89 degrees 27 minutes 50 seconds WEST, 741.44 feet to the point of beginning, Containing 43.94 acres, more or less.

**Corners Established**

- 1) The easterly line of the subject property was established from the Primavera rebars found and the stone at the southwest corner of Section 14.
- 2) The county road right of ways was established from the INDOT Co. Rd. Plans for Project STP-7922 and STP-7722 and the centerline monuments found.
- 3) The south line of the subject property was established from the stones and iron pipe found along the south line of the subject property and the record deed descriptions.
- 4) The easterly line of the subject property was established from property corner stones found at the southeast corner of the property described in Deed Drawer 6, Inst. No. 5069 and the record interior angle at said stone.

**Deed Analysis**

There is a 0'-2.4' gap between the subject property and the Pebble Creek Subdivision (Plat #1102).

**Lines of Occupation**

There were no occupation lines note along the west-southwest boundary of the subject property due to the meandering course of Little Indian Creek. A row line matches closely along the west-northwest boundary of the subject. Occupation along the southerly and easterly boundary of the subject property matches closely with the established boundaries (+/-5 feet).

**CERTIFICATION**

This survey was executed according to survey requirements contained in Title 865, Rule 12 of the Indiana Administrative Code.

This certification does not take into consideration additional facts that an accurate and correct title search and/or examination might disclose.

Evidence of easements have not been located in the field and are not shown on this survey drawing.

Subject to the above reservation, I hereby certify that this survey was performed either by me or under my direct supervision and control and that all the information shown is true and correct to the best of my knowledge and belief.

Certified this 10th day of May 2007.

*Matthew L. Cooper*  
 Matthew L. Cooper  
 Registered Land Surveyor No. LS20200079  
 State of Indiana

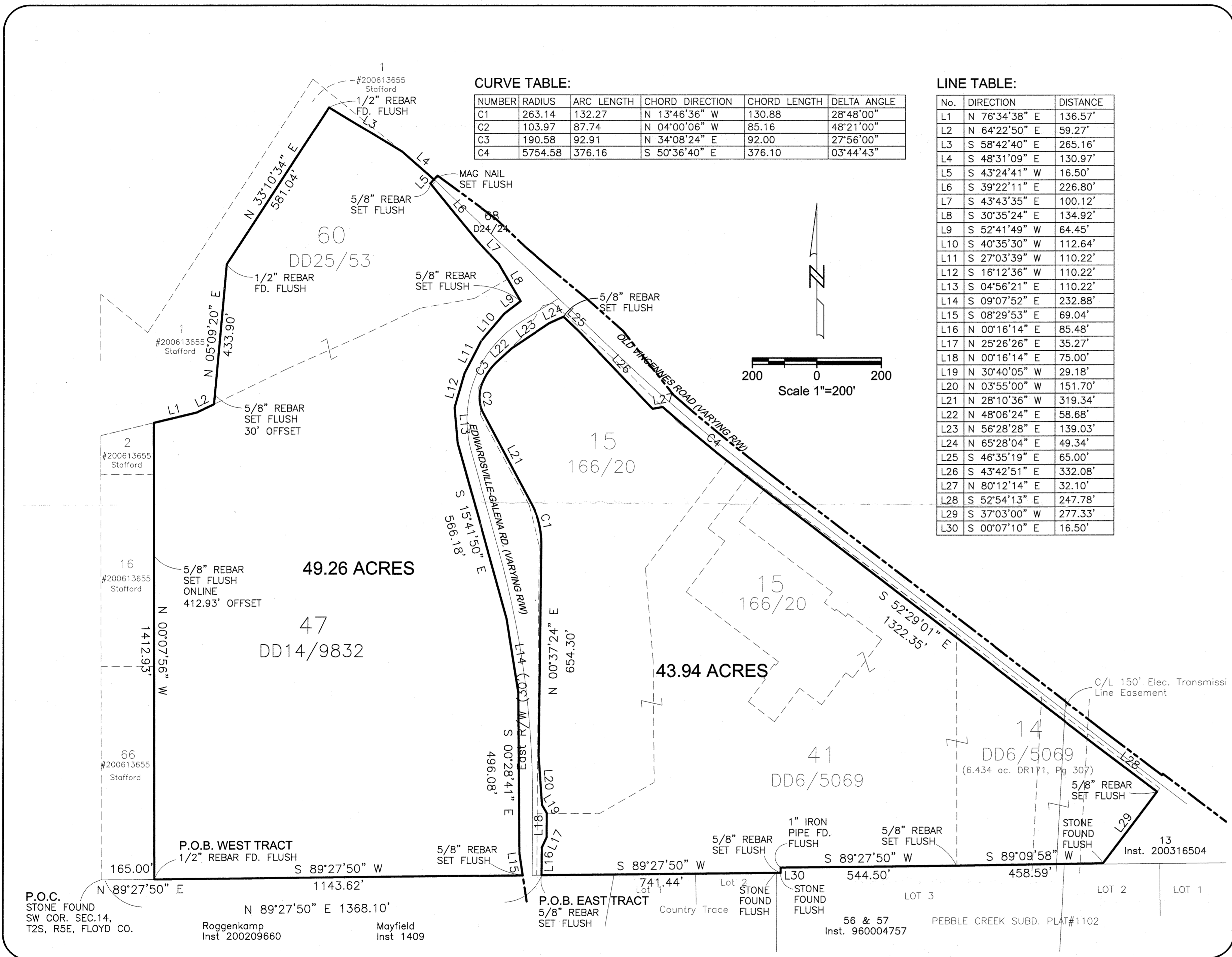
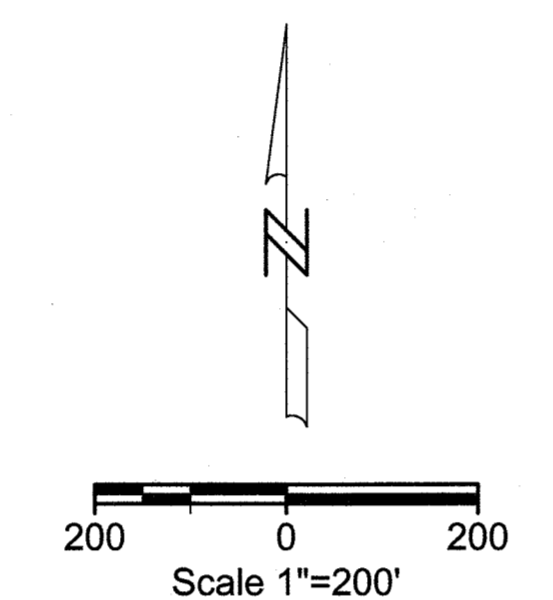
I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.  
 JESSICA UNDERWOOD  
 PREPARED FOR RECORDING BY:  
 BRG, INC. C/O JESSICA UNDERWOOD

**CURVE TABLE:**

NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH	DELTA ANGLE
C1	263.14	132.27	N 13°46'36" W	130.88	28°48'00"
C2	103.97	87.74	N 04°00'06" W	85.16	48°21'00"
C3	190.58	92.91	N 34°08'24" E	92.00	27°56'00"
C4	5754.58	376.16	S 50°36'40" E	376.10	03°44'43"

**LINE TABLE:**

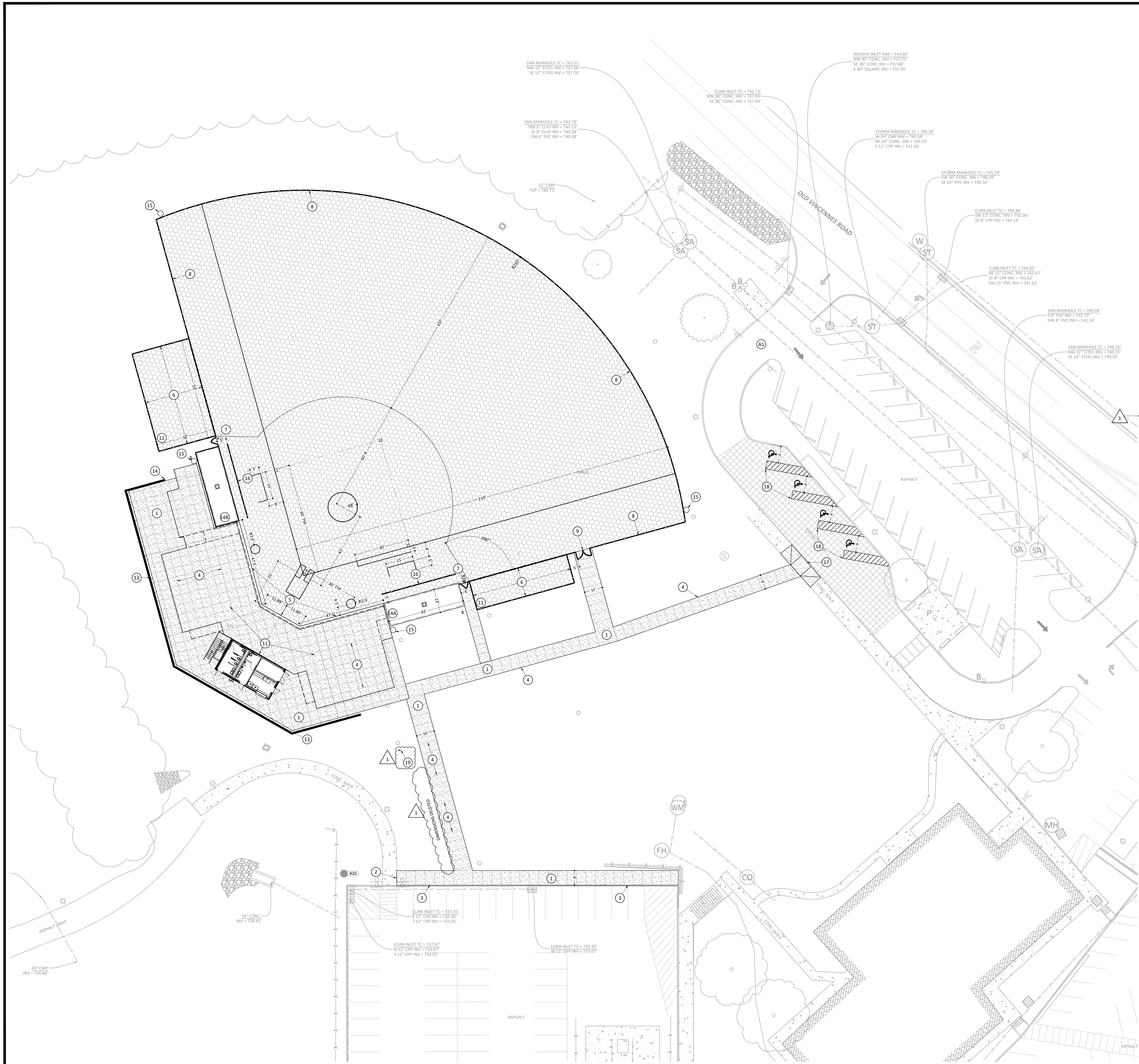
No.	DIRECTION	DISTANCE
L1	N 76°34'38" E	136.57'
L2	N 64°22'50" E	59.27'
L3	S 58°42'40" E	265.16'
L4	S 48°31'09" E	130.97'
L5	S 43°24'41" W	16.50'
L6	S 39°22'11" E	226.80'
L7	S 43°43'35" E	100.12'
L8	S 30°35'24" E	134.92'
L9	S 52°41'49" W	64.45'
L10	S 40°35'30" W	112.64'
L11	S 27°03'39" W	110.22'
L12	S 16°12'36" W	110.22'
L13	S 04°56'21" E	110.22'
L14	S 09°07'52" E	232.88'
L15	S 08°29'53" E	69.04'
L16	N 00°16'14" E	85.48'
L17	N 25°26'26" E	35.27'
L18	N 00°16'14" E	75.00'
L19	N 30°40'05" W	29.18'
L20	N 03°55'00" W	151.70'
L21	N 28°10'36" W	319.34'
L22	N 48°06'24" E	58.68'
L23	N 56°28'28" E	139.03'
L24	N 65°28'04" E	49.34'
L25	S 46°35'19" E	65.00'
L26	S 43°42'51" E	332.08'
L27	N 80°12'14" W	32.10'
L28	S 52°54'13" E	247.78'
L29	S 37°03'00" W	277.33'
L30	S 00°07'10" E	16.50'



- Note:**
1. Field work was performed April & May, 2007.
  2. All 5/8" Set have a yellow cap stamped 'BRG PC 50920004' and are 0.30' above ground unless otherwise noted
  3. The bearing shown on this survey are based on Grid North.
  4. (M)=Measured Distance  
 (R) = Record Distance  
 B.G. = Below Ground  
 A.G. = Above Ground

Project Name: **BOUNDARY SURVEY**  
 Client Name: **FLOYD CENTRAL HIGH SCHOOL**  
 Drawn By: M.L.C.  
 Checked By: M.L.C.  
 Date: 5/4/2007  
 Project No.: **5921**  
 Sheet No.: **1 of 1**

**BRG**  
 BLEDSOE RIGBERT GUERRETTAZ  
 LAND SURVEYING • CIVIL ENGINEERING  
 101 WEST MAIN STREET, PADLI, IN 47454  
 P.(812) 723-2900 F.(812) 723-2933



**GENERAL NOTES :**

- A. ALL DIMENSIONS ARE TO FACE OF CURB, POINT OF TANGENCY, EDGE OF PAVEMENT, EDGE OF WALK, FACE OF BUILDING OR FENCELINE, UNLESS OTHERWISE NOTED. CURB RETURN RADI ARE TO FACE OF CURB. COORDINATE DIMENSIONS WITH ARCHITECTURAL. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- B. CONTRACTOR IS REQUIRED TO VERIFY FIELD CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- C. ALL DISTURBED AREAS SHALL RECEIVE 6" OF TOP SOIL, SEED AND MULCH OR BE IMPROVED AS NOTED OTHERWISE.
- D. SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH THE INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

**PLAN NOTES :**

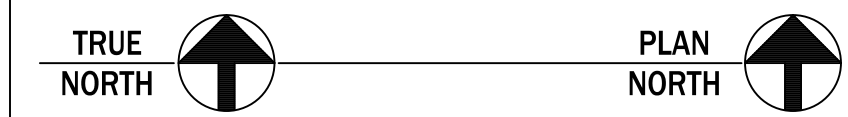
- 1. CONCRETE PAVEMENT, STANDARD DUTY - REFER TO DETAIL 1/C601.
- 2. NEW PAVEMENT TO EXISTING PAVEMENT - REFER TO DETAIL 2/C601.
- 3. CONCRETE PAVEMENT TO EXISTING CURB - REFER TO DETAIL 3/C601.
- 4. EXPANSION AND/OR SCORE JOINT (TYPICAL) - REFER TO DETAIL 1/C601.
- 5. SOFTBALL BACKSTOP - REFER TO ARCHITECTURAL PLANS.
- 6. 8' TALL, VINYL COATED CHAIN LINK FENCING - REFER TO DETAIL 4/C601.
- 7. 8' TALL, VINYL COATED CHAIN LINK GATE, 4" WIDE SINGLE HINGE - REFER TO DETAIL 4/C601.
- 8. 6' TALL, VINYL COATED CHAIN LINK FENCING - REFER TO DETAIL 4/C601.
- 9. 6' TALL, VINYL COATED CHAIN LINK GATE, 6" WIDE DOUBLE HINGE - REFER TO DETAIL 4/C601.
- 10. PRESSBOX AND BLEACHERS - REFER TO ARCHITECTURAL PLANS.
- 11. 2-LANE BULLEPEN - REFER TO ARCHITECTURAL PLANS.
- 12. 4-LANE BULLEPEN - REFER TO ARCHITECTURAL PLANS.
- 13. RETAINING WALL - REFER TO STRUCTURAL PLANS.
- 14. DUGOUTS - REFER TO ARCHITECTURAL PLANS.  
15A. DUGOUT 'A'  
15B. DUGOUT 'B'
- 15. LIGHT POLE - REFER TO LIGHTING PLAN.
- 16. 4' TALL, VINYL COATED CHAIN LINK FENCING - REFER TO DETAIL 4/C601.
- 17. CURB RAMP - REFER TO DETAIL 1/C602.
- 18. 4" WIDE PAVEMENT MARKING - AUTO PARKING.
- 19. SIGNAGE FOR UNDERGROUND DETENTION - REFER TO DETAIL 10/C602.

- LEGEND:**
- LIMITS OF NEW STANDARD DUTY CONCRETE PAVEMENT - REFER TO DETAIL
  - LIMITS OF SYNTHETIC TURF - REFER TO ARCHITECTURAL PLANS
  - WEDGE AND LEVEL TO MEET ADA REQUIREMENTS FOR MAX SLOPE



**BRCJ**  
 LAND SURVEYING • CIVIL ENGINEERING • GIS  
 1351 West Tapp Road Bloomington, Indiana 47403  
 Phone: 812-336-8277 www.brcjcivil.com  
 BRCJ Project No: 11985

#	Date	Description
1	05-13-2026	PR



**VPS ARCHITECTURE**  
 528 Main Street - Suite 400 Evansville Indiana 47708  
 P (812) 423-7729 F (812) 425-4561  
 www.VPSARCH.com

**FLOYD CENTRAL HIGH SCHOOL SOFTBALL FIELD**

NEW ALBANY FLOYD COUNTY SCHOOL CORPORATION  
 FLOYD COUNTY, INDIANA  
 Drawing Title:

**SITE IMPROVEMENT PLAN**

	Project No:	2025026.00
	Project Date:	FEBRUARY 2026
	CAD File Data	File name: 2025-11-13 10:50:24 AM Plot date: 2025-11-13 10:50:24 AM
	Drawing No:	C301

DOOR & HARDWARE SCHEDULE		DOOR		FRAME		DETAILS		DOOR NO.			
DOOR NO.	DOOR SIZE	ELEVATION	MATERIAL	ELEVATION	MATERIAL	THICKNESS	HARDWARE SET	HEAD	JAMB	REMARKS	DOOR NO.
P100	(2) 3'-0" x 7'-0"	F	1	F1	1	5 3/4"	3	26/A104	27/A104	1.	P100
P101	3'-0" x 7'-0"	F	1	F1	1	5 3/4"	1	26/A104	27/A104	1.	P101
P102	3'-0" x 7'-0"	F	1	F1	1	5 3/4"	1	26/A104	27/A104	1.	P102
P103	3'-0" x 7'-0"	F	1	F1	1	5 3/4"	1	26/A104	27/A104	1.	P103
P103A	6'-0" x 4'-0"	F	1	F1	1	5 3/4"	1	26/A104	27/A104	2.	P103A
P200	3'-0" x 7'-0"	F	1	F1	1	5 3/4"	1	26/A104	27/A104	1.	P200

**DOOR & HARDWARE GENERAL NOTES:**

- ALL HOLLOW METAL DOORS & FRAMES TO BE PAINTED WALL STOP (VES OR EQUAL) AT ALL DOORS OPENING AGAINST A WALL

**HARDWARE SETS:**

SET 1: 1 1/2" PAIR BB HINGES HAGER (OR EQUAL) BEST (OR EQUAL) ENTRANCE LOCKSET DEADBOLT WEATHERSTRIPPING DOOR SWEEP THRESHOLD

SET 2: 1 1/2" PAIR BB HINGES HAGER (OR EQUAL) BEST (OR EQUAL) STOREROOM LOCKSET DEADBOLT WEATHERSTRIPPING DOOR SWEEP THRESHOLD

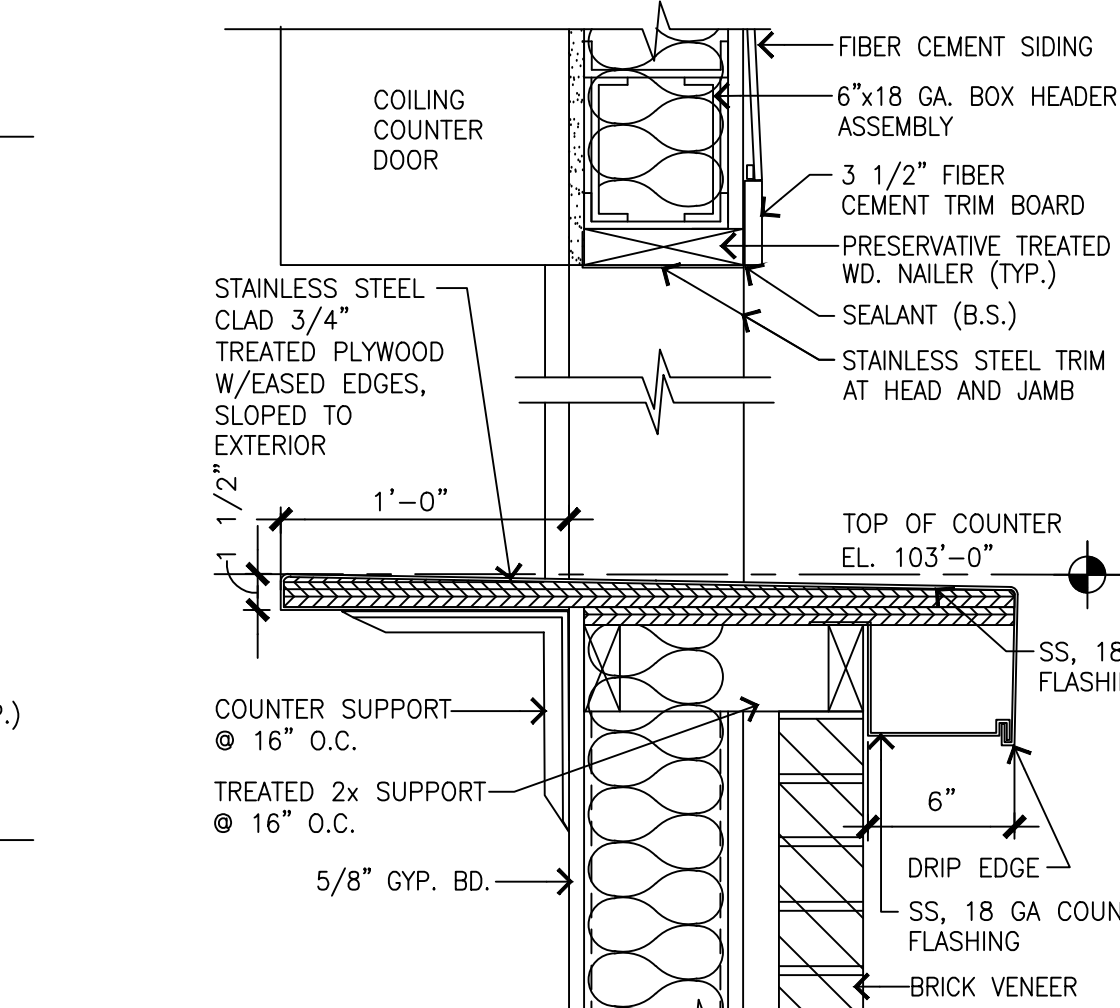
SET 3: 1 1/2" PAIR BB HINGES HAGER (OR EQUAL) BEST (OR EQUAL) STOREROOM LOCKSET DEADBOLT WEATHERSTRIPPING DOOR SWEEP THRESHOLD

**DOOR SCHEDULE REMARKS:**

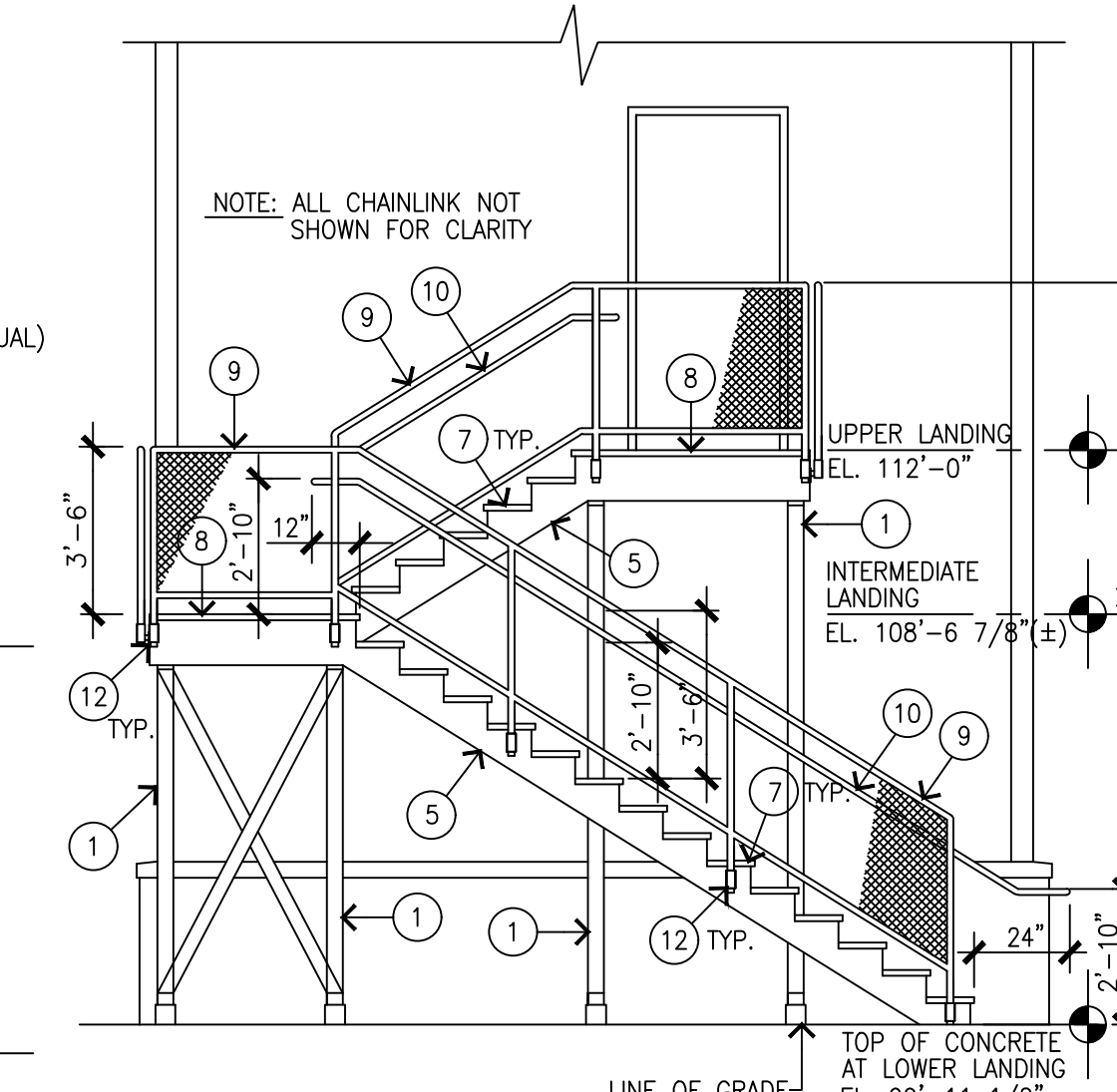
- INDICATES INSULATED DOOR & FRAME
- MANUALLY OPERATED W/ THUMB-TURN LOCK

**FRAME TYPES DOOR TYPES WINDOW TYPES**

SCALE: 1/4" = 1'-0" SCALE: 1/4" = 1'-0" SCALE: 1/4" = 1'-0"



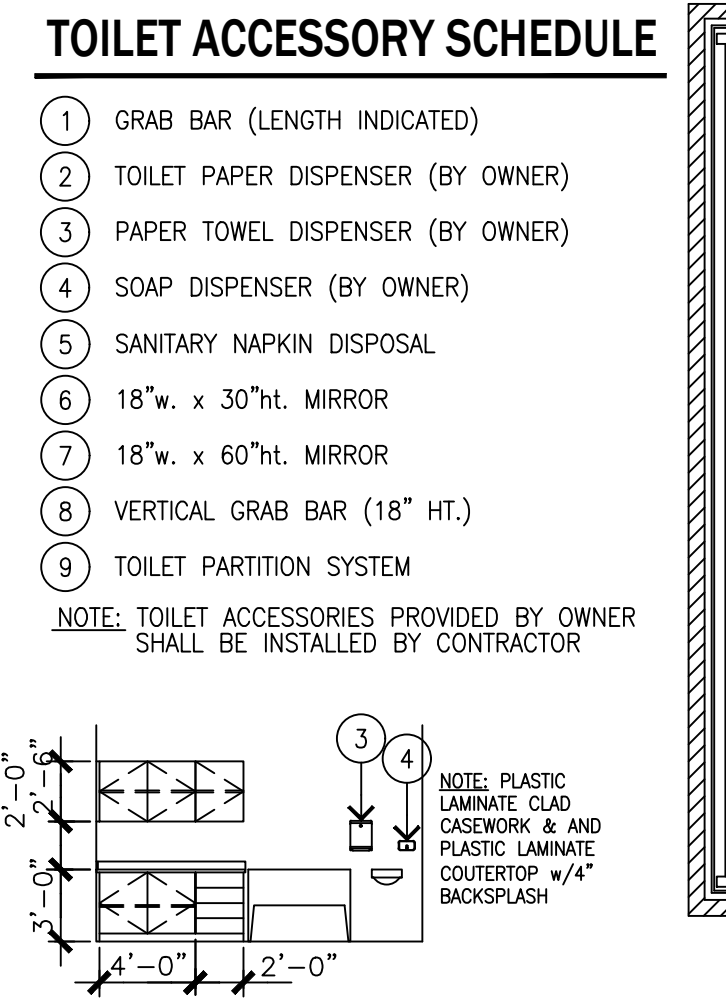
**DETAIL**  
SCALE: 1 1/2" = 1'-0"



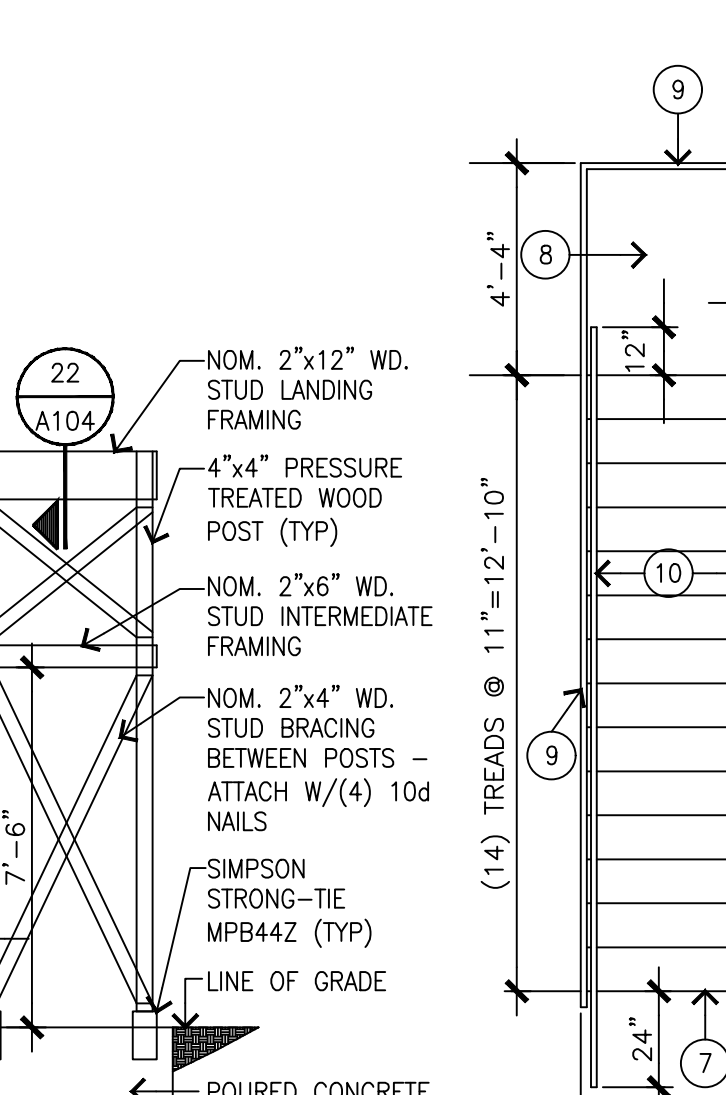
**STAIR ELEVATION**  
SCALE: 1/4" = 1'-0"

**ACCESSORY MOUNTING HEIGHTS**

NOT TO SCALE



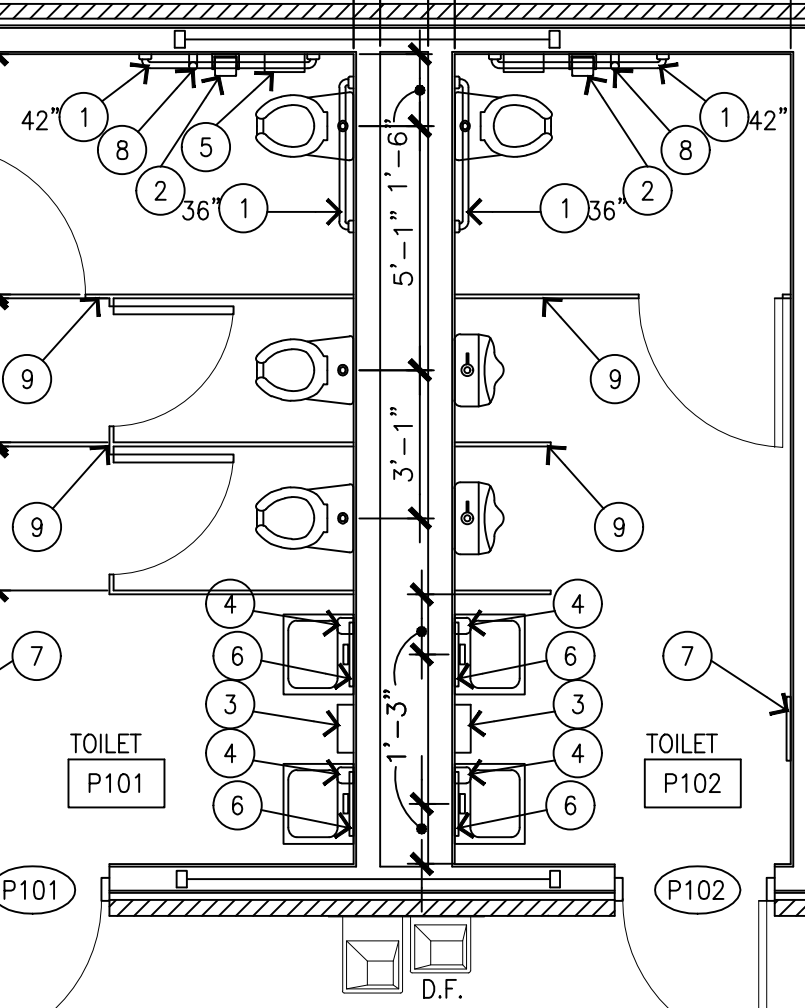
**CASEWORK ELEVATION**  
SCALE: 1/8" = 1'-0"



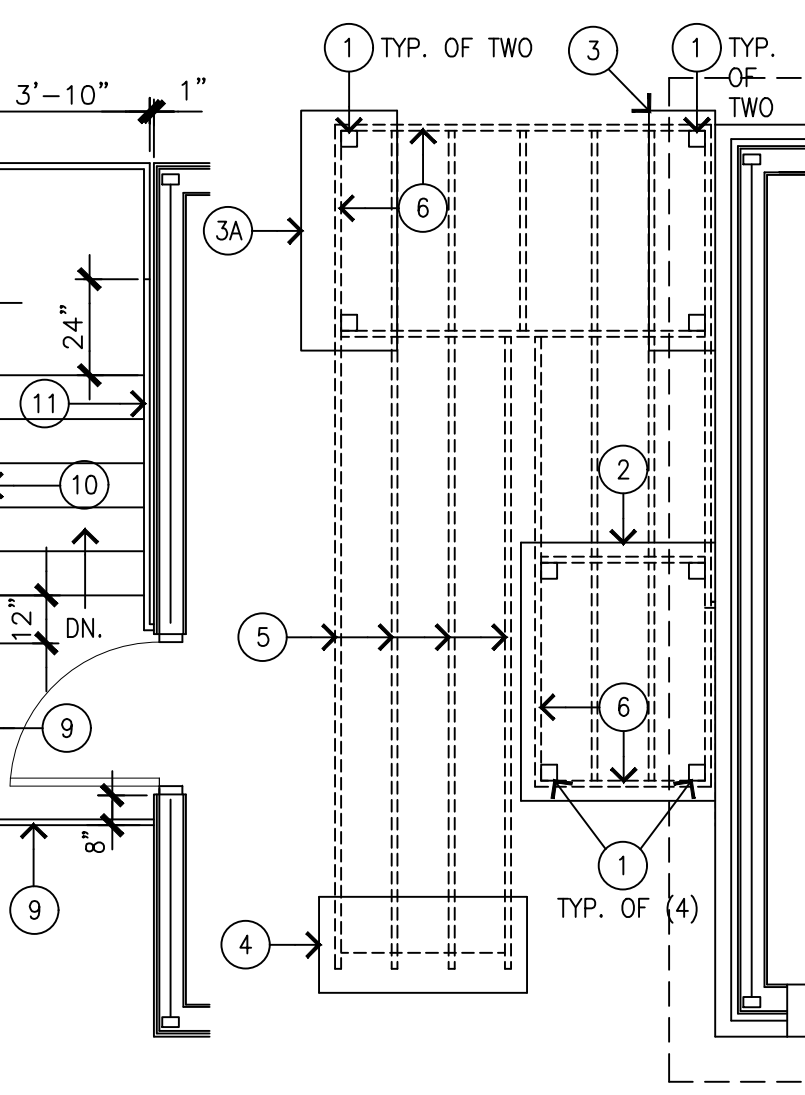
**STAIR BRACING DETAIL**  
SCALE: 1/4" = 1'-0"

**TOILET ACCESSORY SCHEDULE**

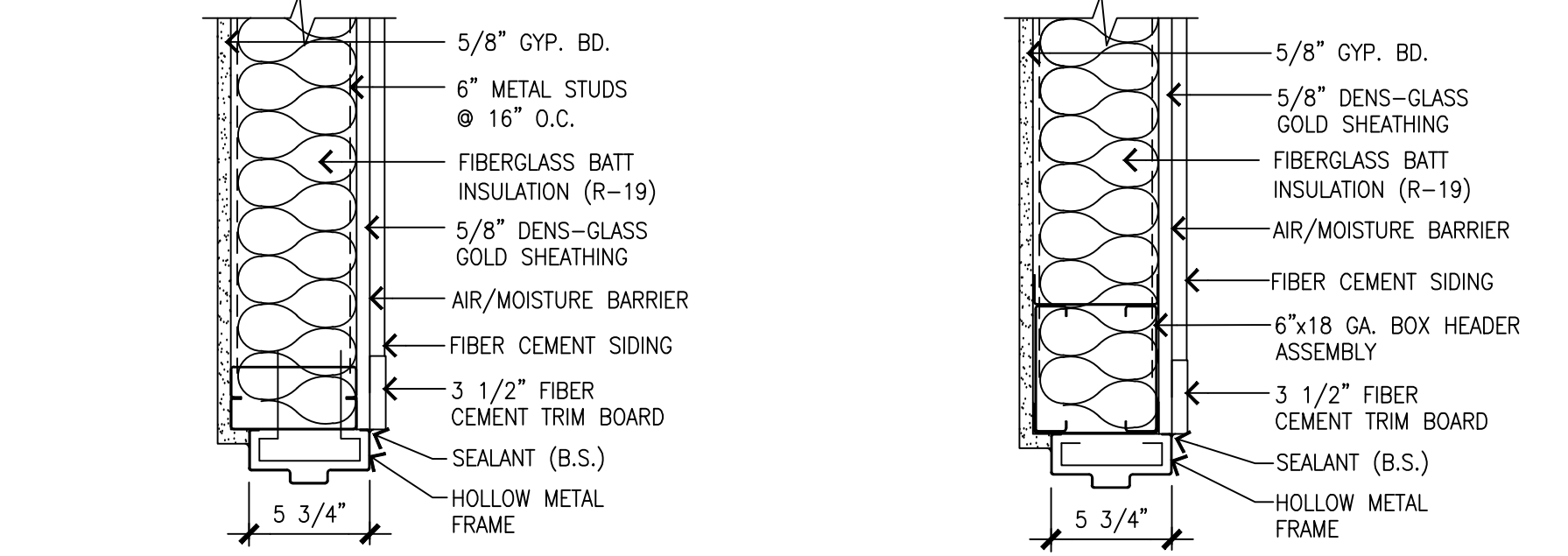
NOTE: TOILET ACCESSORIES PROVIDED BY OWNER SHALL BE INSTALLED BY CONTRACTOR



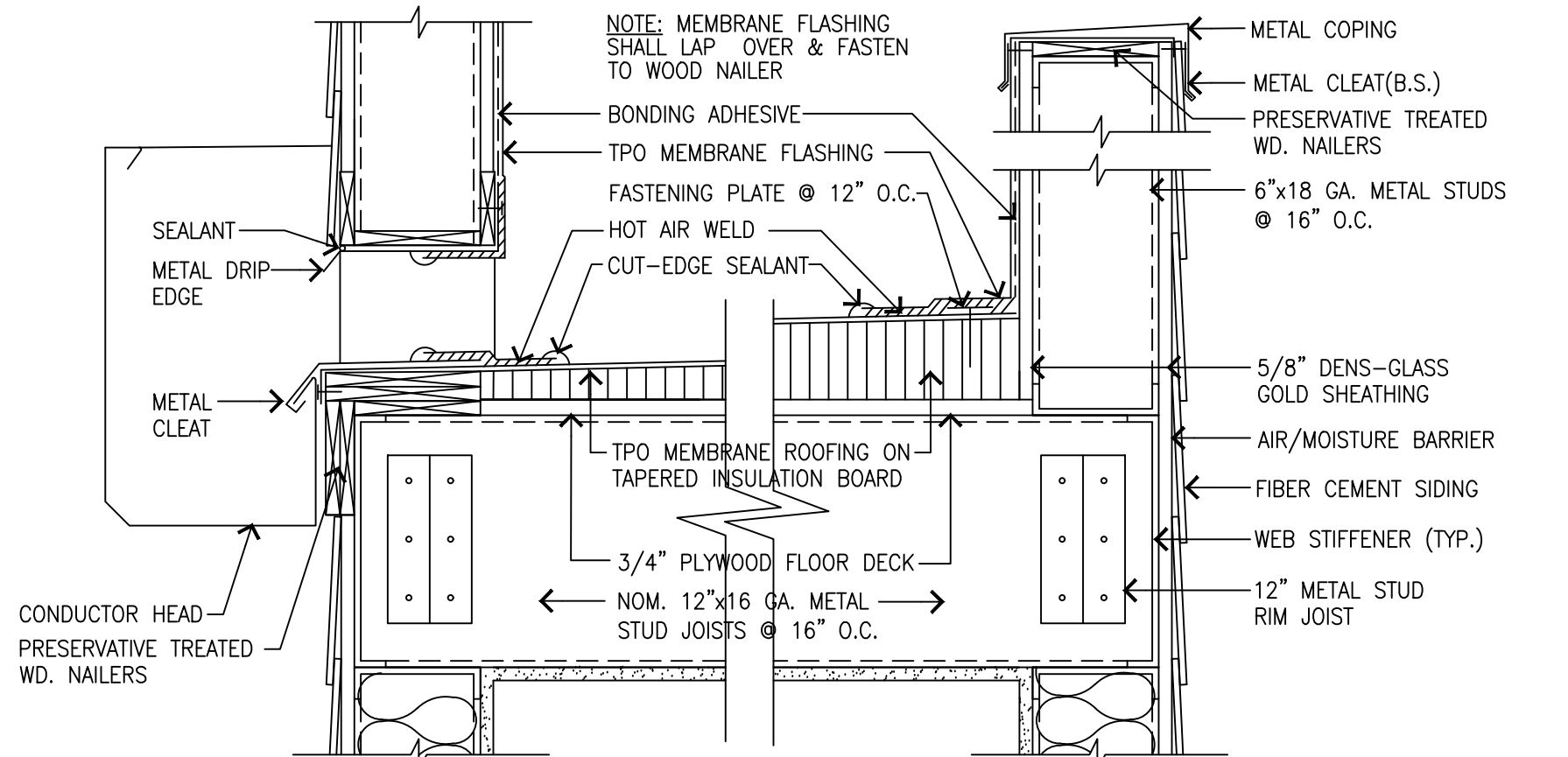
**ENLARGED TOILET ROOM PLAN**  
SCALE: 1/4" = 1'-0"



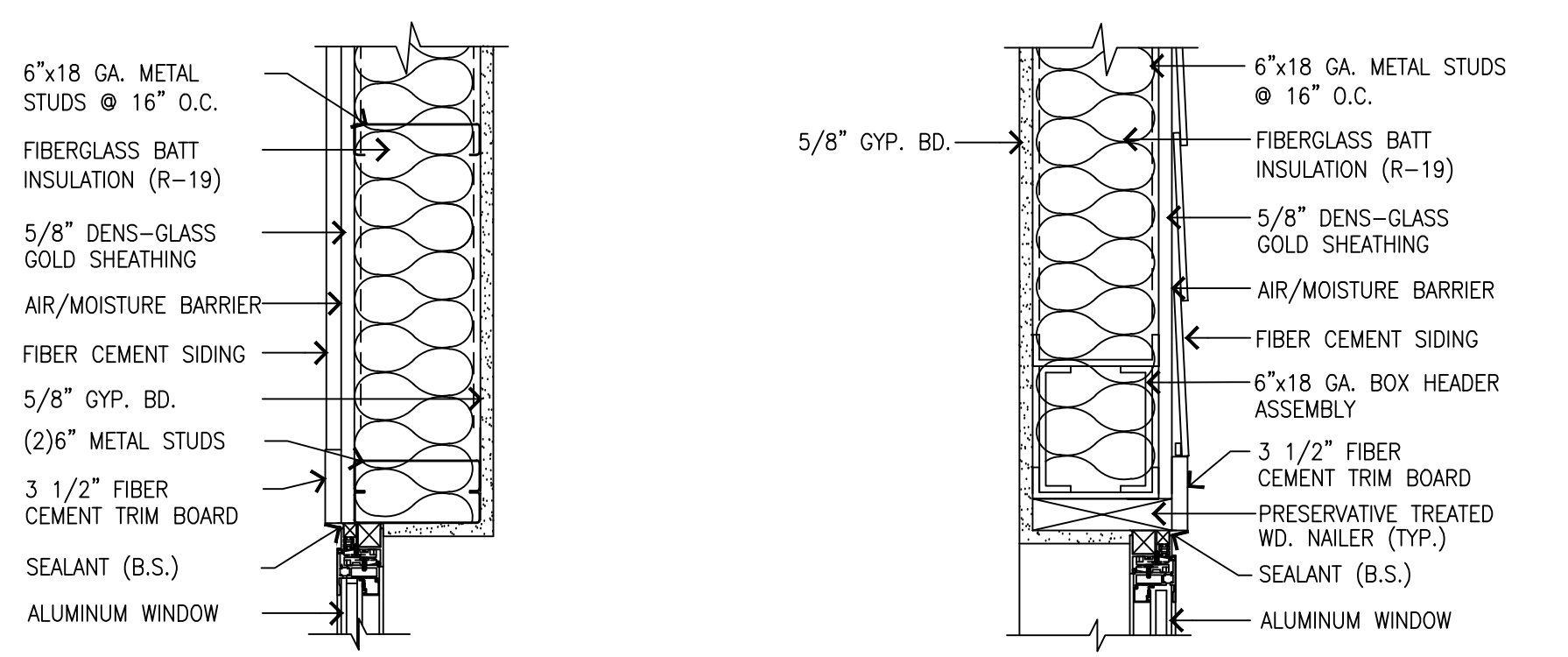
**ENLARGED STAIR PLAN**  
SCALE: 1/4" = 1'-0"



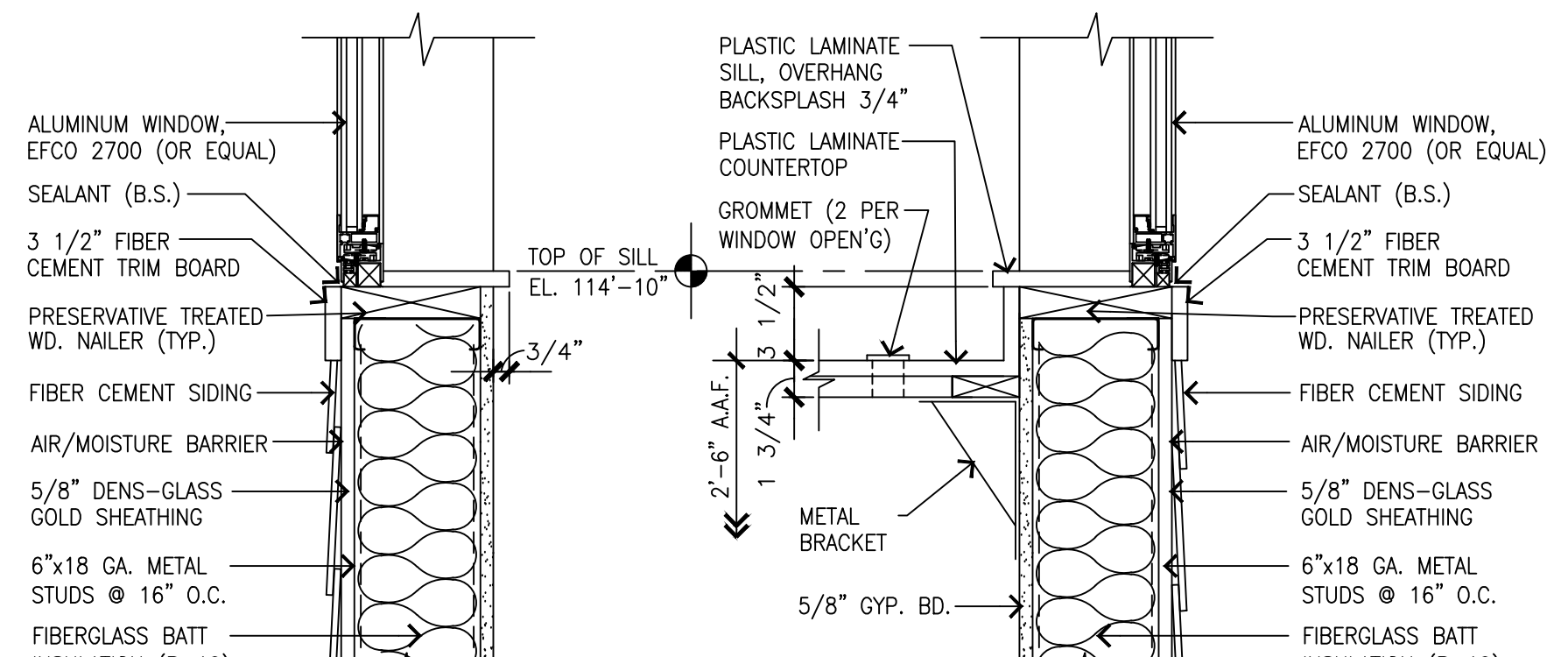
**JAMB DETAIL**  
SCALE: 1 1/2" = 1'-0"



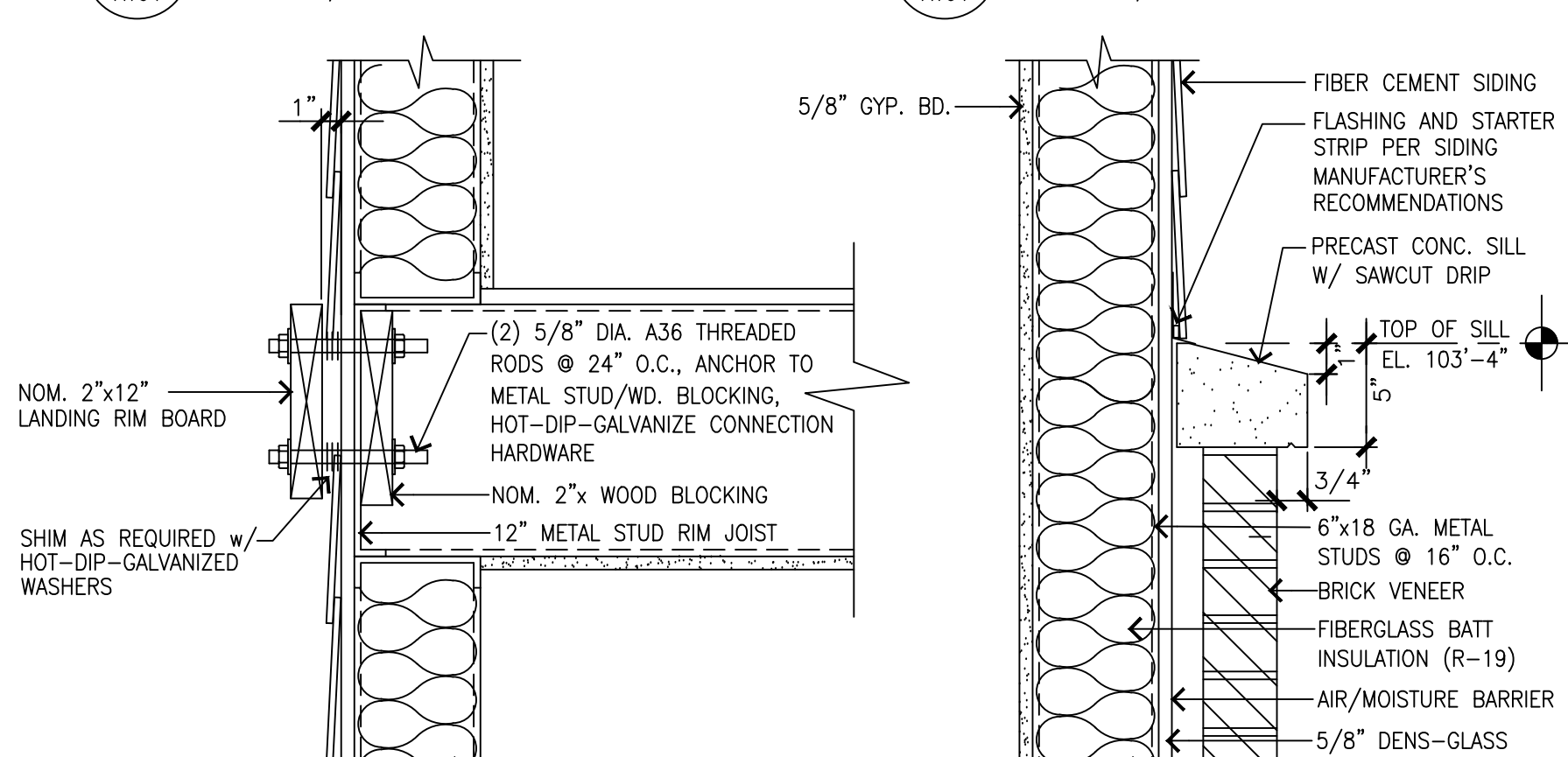
**HEAD DETAIL**  
SCALE: 1 1/2" = 1'-0"



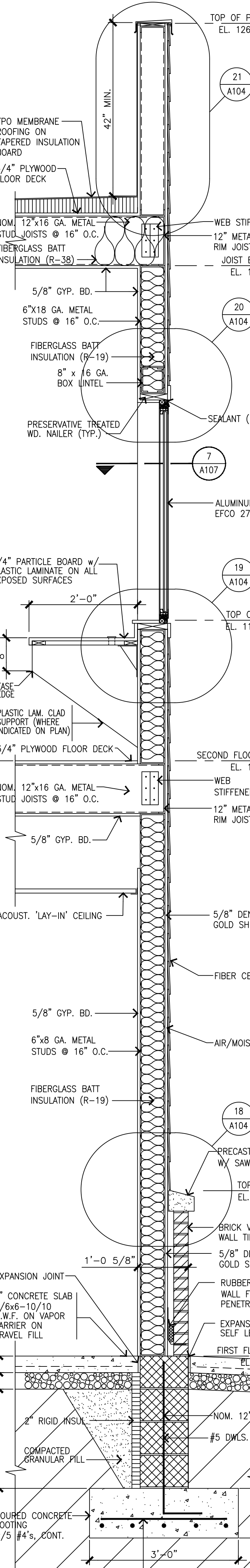
**WINDOW JAMB DETAIL**  
SCALE: 1 1/2" = 1'-0"



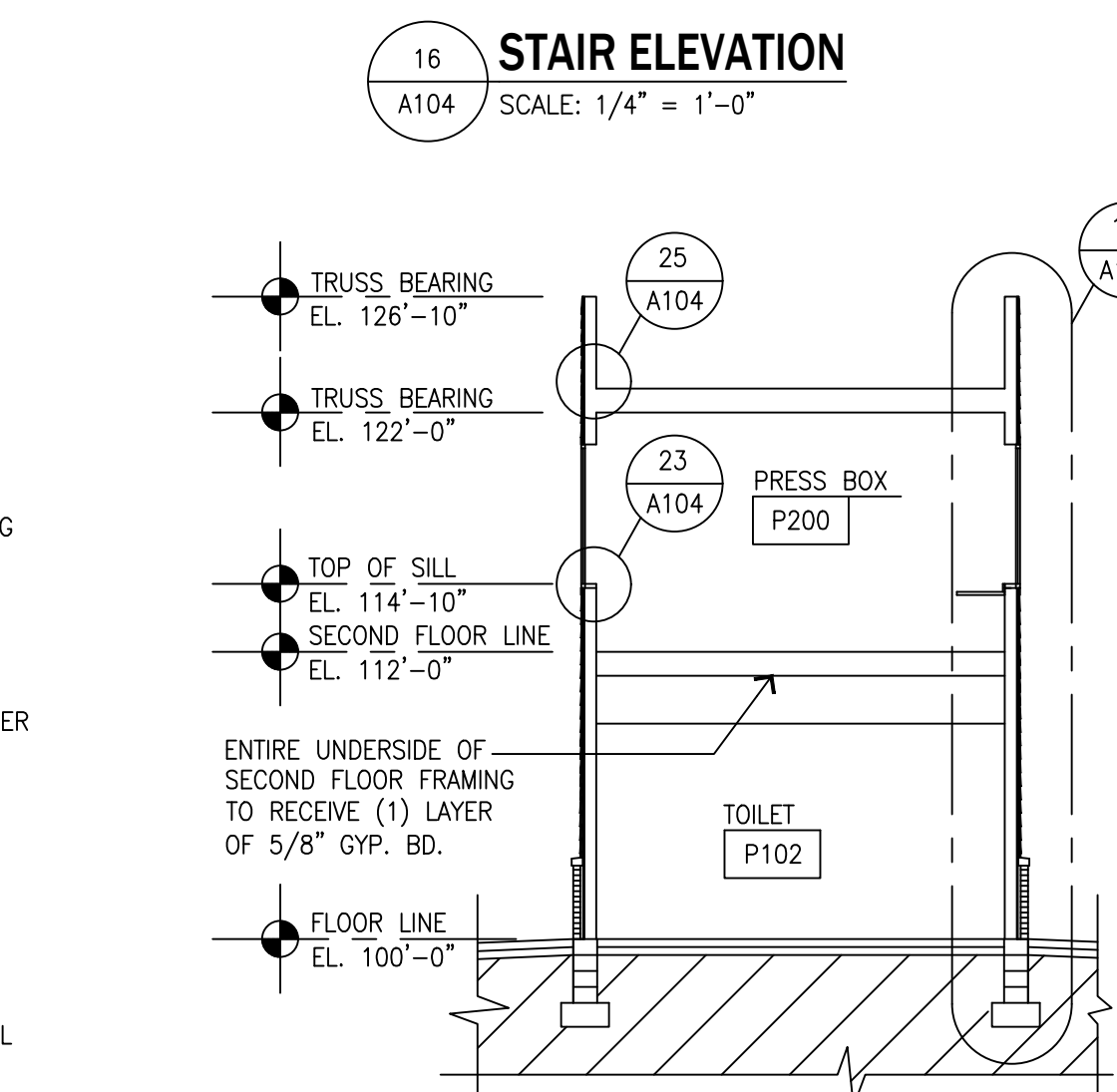
**DETAIL**  
SCALE: 1 1/2" = 1'-0"



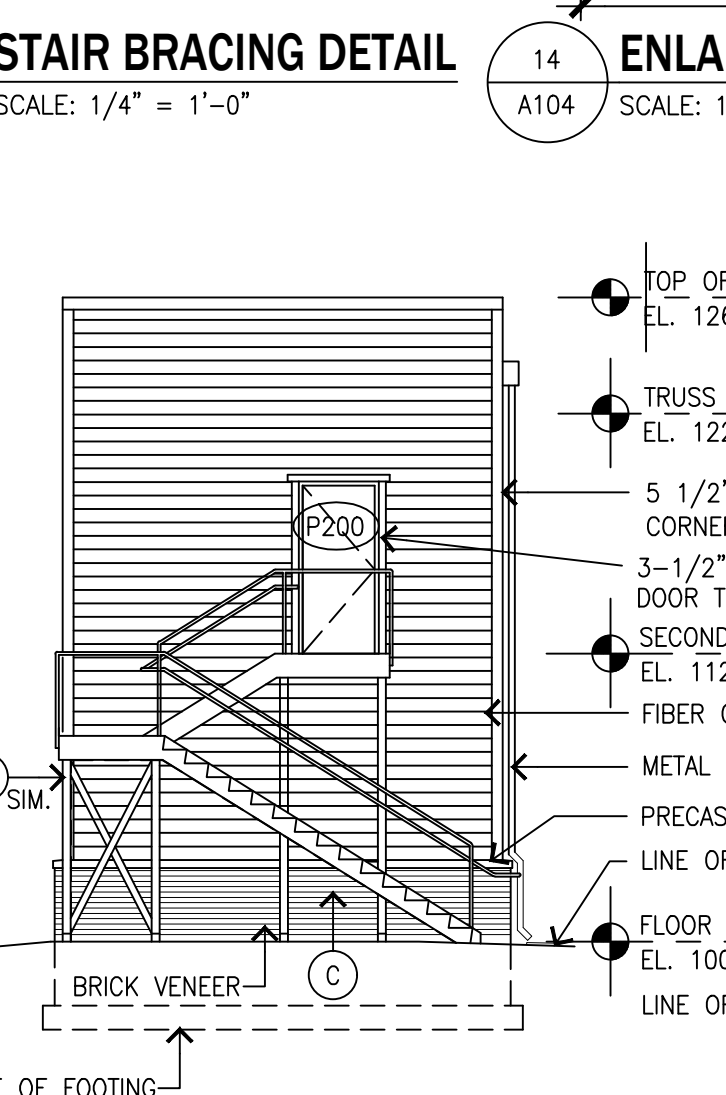
**DETAIL STAIR LANDING ATTACHMENT EXTERIOR WALL**  
SCALE: 1 1/2" = 1'-0"



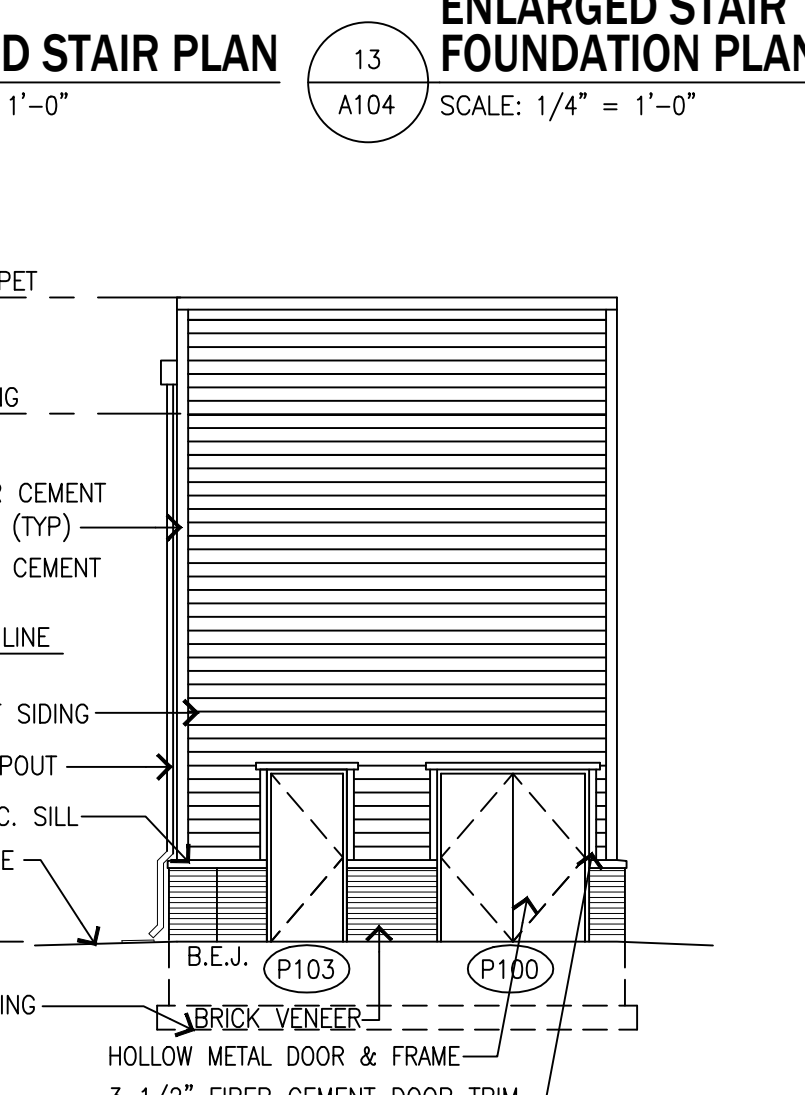
**WALL SECTION**  
SCALE: 3/4" = 1'-0"



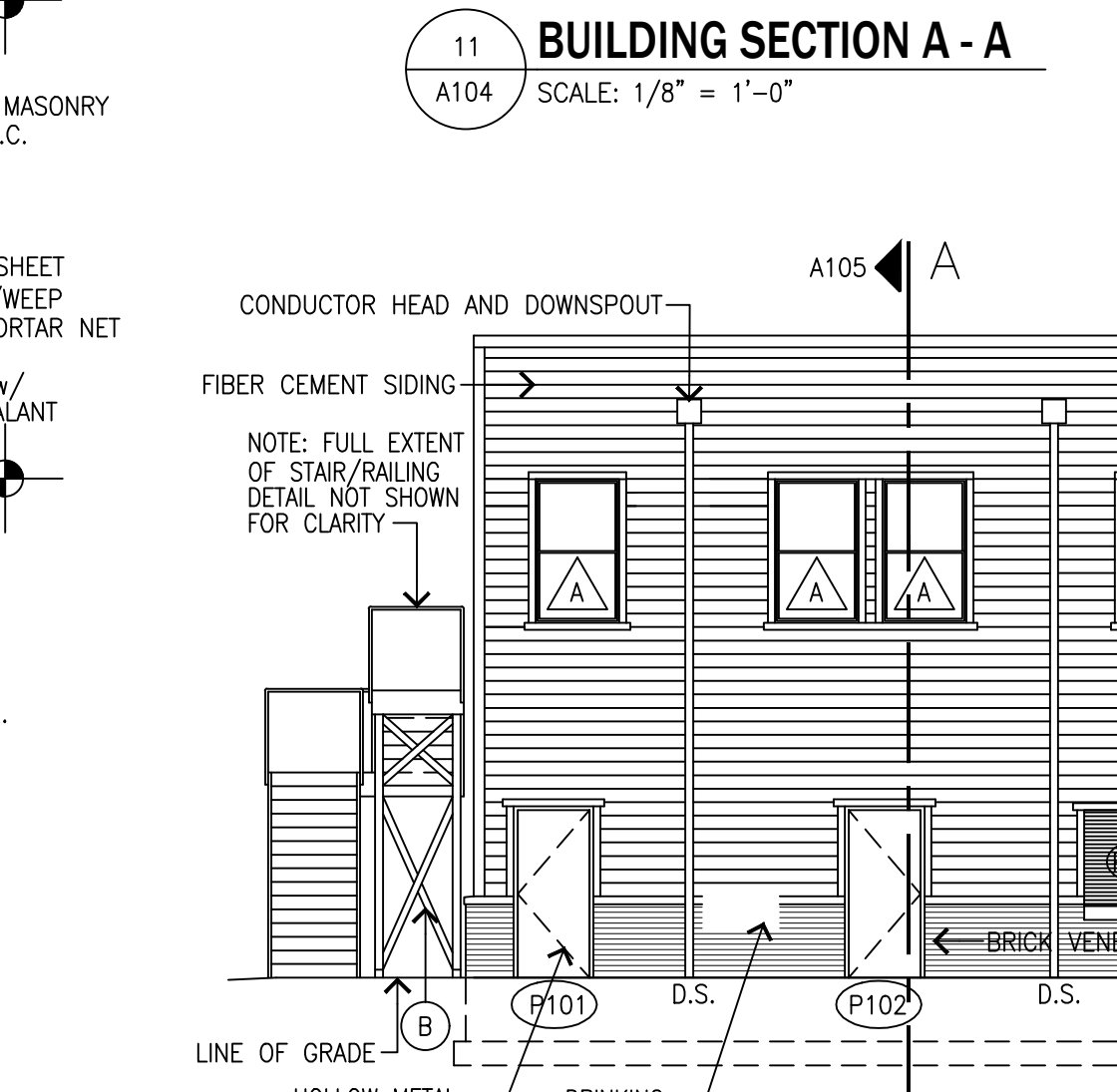
**BUILDING SECTION A - A**  
SCALE: 1/8" = 1'-0"



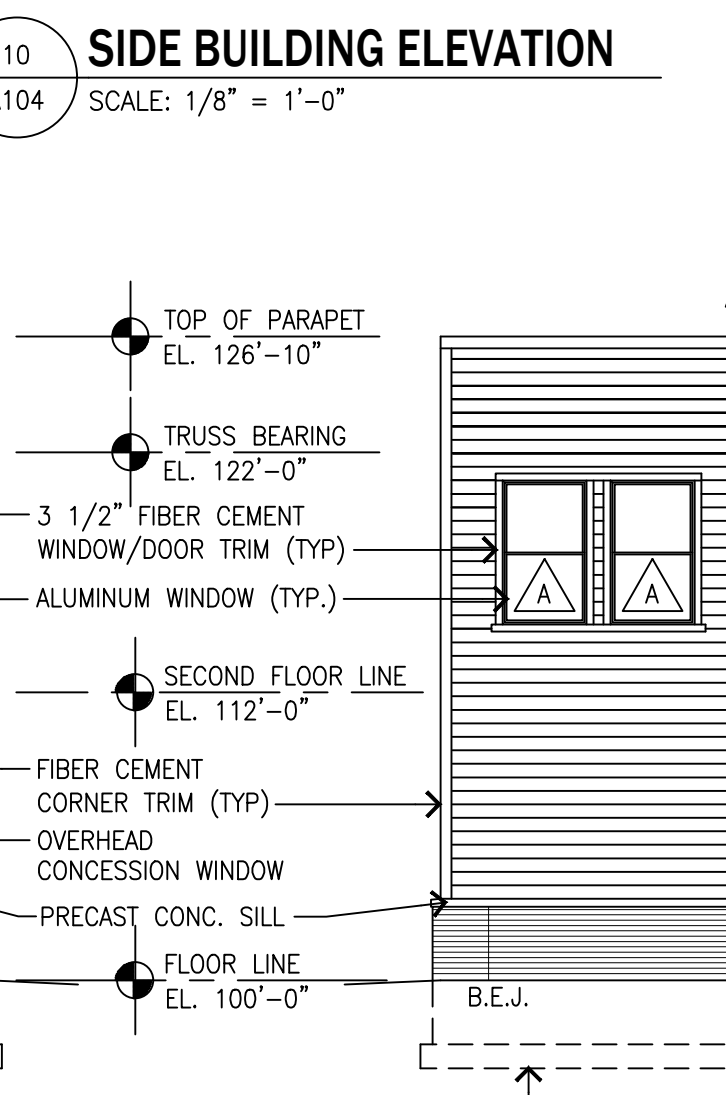
**SIDE BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"



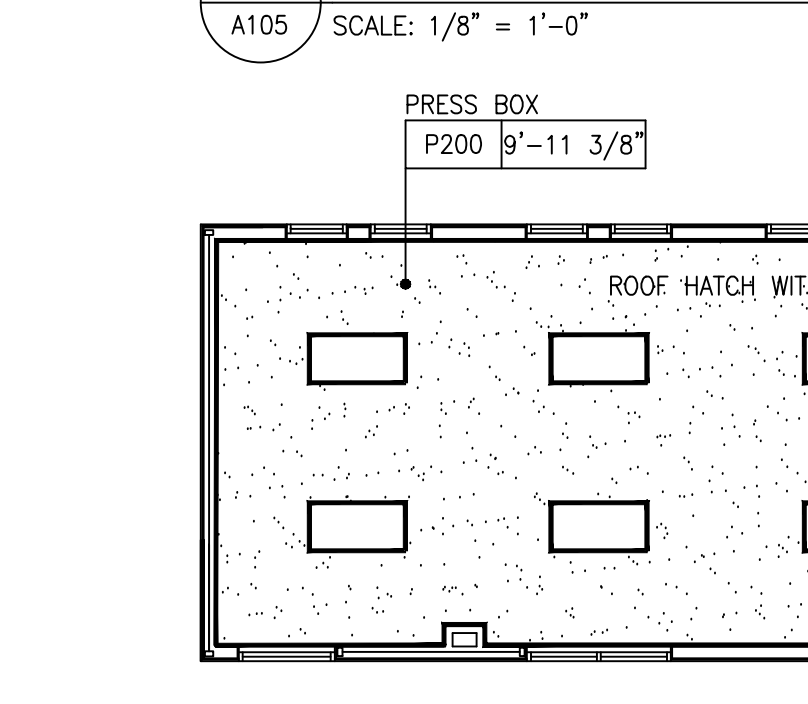
**REAR BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"



**FRONT BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"

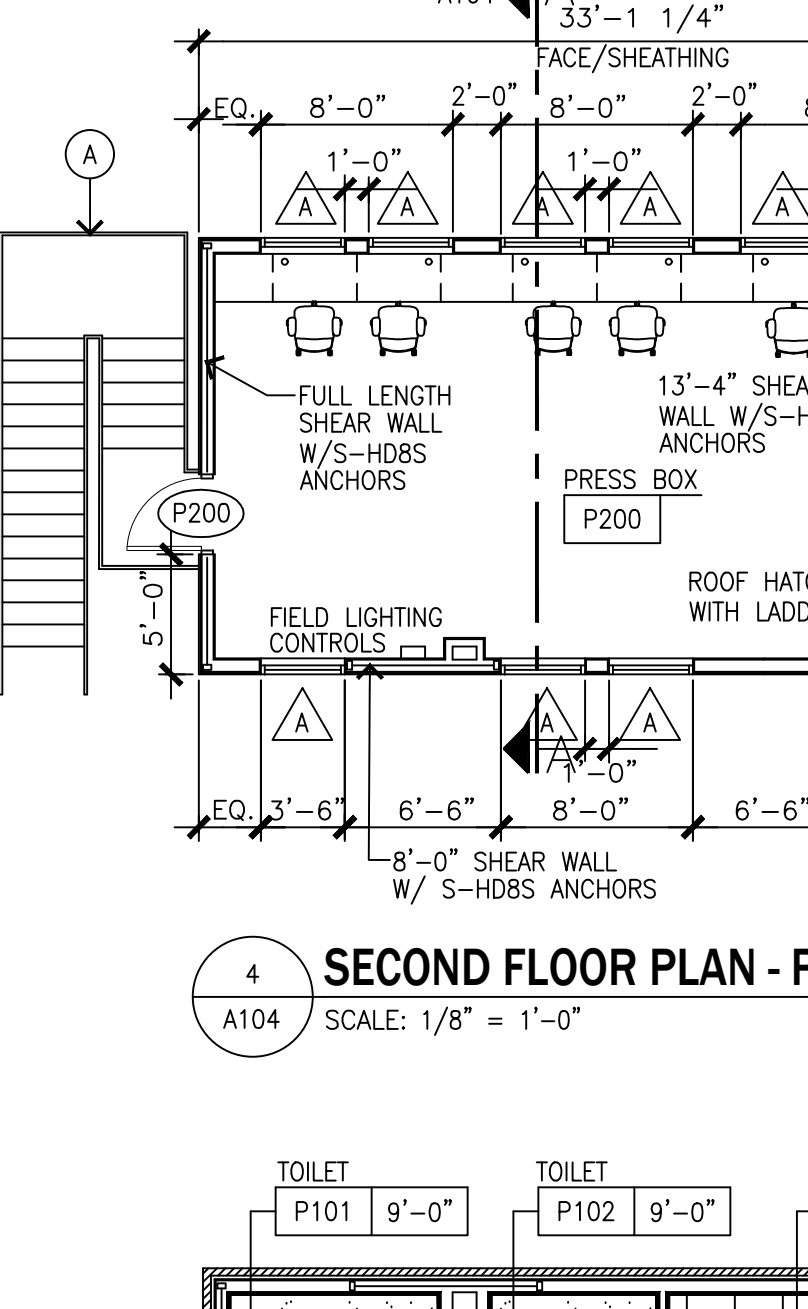
**ROOF PLAN - PRESS BOX**

SCALE: 1/8" = 1'-0"



**SECOND FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/8" = 1'-0"

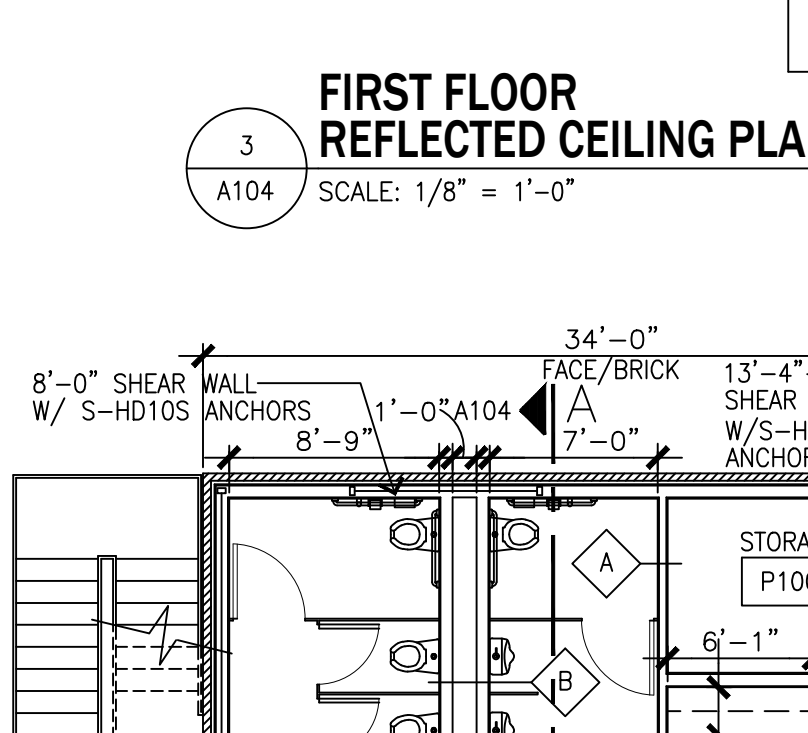
**STAIR REFERENCE NOTES:**



**SECOND FLOOR PLAN - PRESS BOX**  
SCALE: 1/8" = 1'-0"

**FIRST FLOOR REFLECTED CEILING PLAN**

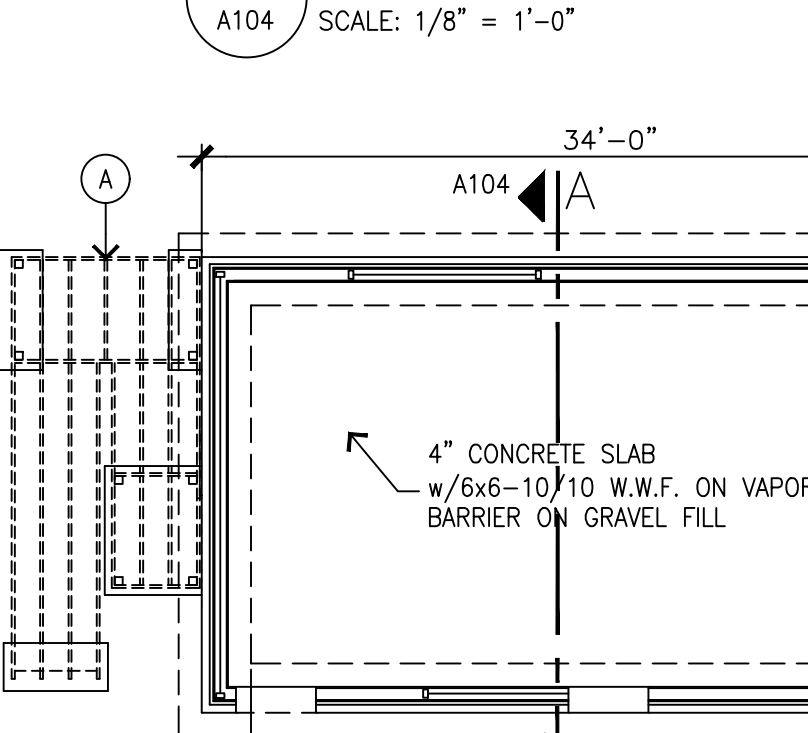
SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN - PRESS BOX**  
SCALE: 1/8" = 1'-0"

**FOUNDATION PLAN - PRESS BOX**

SCALE: 1/8" = 1'-0"



**FOUNDATION PLAN - PRESS BOX**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

- FINISHES ARE AS FOLLOWS:  
STORAGE P100: FLOOR: SEALED CONCRETE BASE; 4" RESILIENT COVE WALLS: GYP. BD. (PAINTED) CEILING: 2'x2' ACOUSTICAL 'LAY-IN'  
TOILET P101 & P102: FLOOR: SEALED CONCRETE BASE; 4" RESILIENT COVE WALLS: FRP CEILING: GYP. BD. (PAINTED)  
CONCESSION P103: FLOOR: SEALED CONCRETE BASE; 4" RESILIENT COVE WALLS: FRP CEILING: GYP. BD. (PAINTED)  
PRESS BOX P200: FLOOR: RESILIENT FLOORING BASE; 4" RESILIENT COVE WALLS: GYP. BD. (PAINTED) CEILING: GYP. BD. (PAINTED)
- D.S. - INDICATES METAL DOWNSPOUT W/ PRECAST CONCRETE SPLASHBLOCK.
- AIR/MOISTURE BARRIER TO BE DUPONT TYVEK HOME WRAP.

**WALL TYPES:**

- 5/8" GYP. BD. (B.S.) ON 3 5/8" (U.O.) METAL STUDS @ 16" O.C. W/ SOUND BATT INSULATION, EXTEND TO BOTTOM OF FLOOR STRUCTURE ABOVE.
- 5/8" GYP. BD. (ONE SIDE) ON 6" METAL STUDS @ 16" O.C. W/ SOUND BATT INSULATION, EXTEND TO BOTTOM OF FLOOR STRUCTURE ABOVE.

**REFERENCE NOTES:**

- SEE ENLARGED STAIR PLAN.
- SEE SECTION 15/A104 FOR BRACING DETAIL BETWEEN POSTS.
- BRACING AT POSTS BEYOND NOT SHOWN FOR CLARITY, SEE SECTION 15/A104 FOR DETAIL OF BRACING BETWEEN POSTS.

**STAIR REFERENCE NOTES:**

- 4"x4" PRESSURE TREATED WOOD POST W/ SIMPSON STRONG TIE MPB442 POST BASE AT EACH POST. SEE DETAIL 15/A104 FOR BRACING BETWEEN POSTS.
- 5'-6"(3"x4")x24" CONCRETE FOOTING WITH #5 @ 12" O.C. EACH WAY TOP AND BOTTOM. TOP OF CONCRETE EL. = +100'-0" CHAMFER EXPOSED CONCRETE EDGES - SLOPE TOP OF CONCRETE TO DRAIN. PROVIDE 5" MIN. CONCRETE SIDE COVER TO POST BASES.
- 1'-4"x4"-0"(3"x4")x24" CONCRETE FOOTING WITH #5 @ 12" O.C. EACH WAY TOP AND BOTTOM. TOP OF CONCRETE EL. = +100'-0" CHAMFER EXPOSED CONCRETE EDGES - SLOPE TOP OF CONCRETE TO DRAIN. PROVIDE 5" MIN. CONCRETE SIDE COVER TO POST BASES.
- 2'-0"x4"-0"(3"x4")x24" CONCRETE FOOTING WITH #5 @ 12" O.C. EACH WAY TOP AND BOTTOM. TOP OF CONCRETE EL. = +100'-0" CHAMFER EXPOSED CONCRETE EDGES - SLOPE TOP OF CONCRETE TO DRAIN. PROVIDE 5" MIN. CONCRETE SIDE COVER TO POST BASES.
- 2'-0"x4"-0"(3"x4")x24" CONCRETE FOOTING WITH #5 @ 12" O.C. EACH WAY TOP AND BOTTOM. TOP OF CONCRETE EL. = +99'-11 1/2" CHAMFER EXPOSED CONCRETE EDGES - SLOPE TOP OF CONCRETE TO DRAIN. PROVIDE 5" MIN. CONCRETE SIDE COVER TO POST BASES.
- NOM. 2"x12" WOOD STRINGERS, TYPICAL OF FOUR.
- NOM. 2"x12" WOOD HEADERS & LANDING FRAMING (TYP.).
- TREX TREADS & TREATED WOOD RISERS.
- VINYL COATED CHAINLINK FENCING AT STAIRS & LANDINGS W/ TOP & BOTTOM WALLS & POSTS WHERE SHOWN OR AT 5'-0" O.C. (MAX.).
- 1 1/2" O.D. STD. STEEL PIPE HANDRAIL, BRACKET MOUNTED TO CHAINLINK FENCE POSTS (PAINT).
- 1 1/2" O.D. STD. STEEL PIPE HANDRAIL, BRACKET MOUNTED TO WALL MAINTAIN 1 1/2" CLEARANCE TO FACE OF WALL (PAINT).
- POSTS SHALL BE SLEEVE-MOUNTED TO SIDES OF STRINGERS.

**STRUCTURAL GENERAL NOTES:**

- FIRST FLOOR SHALL BE 4" CONCRETE SLAB W/ 6#6-10/10 W.W.F. ON VAPOR BARRIER ON 4" GRAVEL FILL.
- ELEVATION TOP OF SLAB = +100'-0".
- METAL JOIST BEARING ELEVATION SHALL BE +122'-0".
- TOP OF FOOTINGS SHALL BE MINIMUM 2'-0" BELOW FINISHED GRADE.
- ROOF SHALL BE TPO ROOFING ON TAPERED INSULATION ON 3/4" PLYWOOD ROOF DECK ON 12" X 16 GA. METAL JOISTS.
- CONCRETE STRENGTH SHALL BE 4000 PSI @ 28 DAYS.
- SECOND FLOOR FRAMING SHALL BE 12" X 16 GA. METAL JOISTS.
- SHEAR WALLS SHALL BE 19/32" STRUCTURAL 1 SHEATHING, EXTERIOR GRADE, WITH #8 SCREWS @ 4" AT EDGES FIRST FLOOR, #8 SCREWS AT 6" AT EDGES SECOND FLOOR, AND #8 SCREWS @ 12" IN FIELDS. SEE PLAN FOR HOLD DOWN ANCHORS. PROVIDE DOUBLE STUDS AT ALL HOLD DOWN ANCHORS.
- PROVIDE 6"x18 GA. BOX LINTELS AT ALL DOORS FRAME OPENINGS.

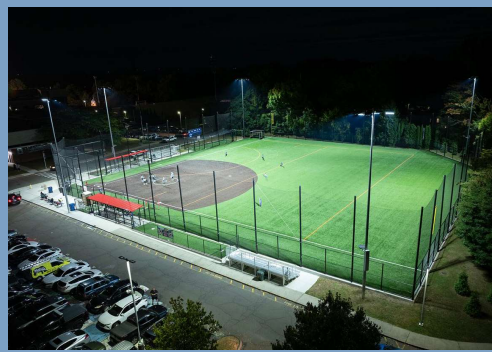
**VPS ARCHITECTURE**

528 Main Street - Suite 400 Evansville Indiana 47708  
P (812) 423-7729 F (812) 424-4561  
www.VPSARCH.com

**FLOYD CENTRAL HIGH SCHOOL SOFTBALL FIELD - REBID**

NEW ALBANY FLOYD COUNTY SCHOOLS FLOYD'S KNOBS, INDIANA  
Drawing Title: PRESS BOX FLOOR PLANS, ELEVATIONS, SECTIONS, SCHEDULES, & DETAILS

Project No: 2025026.00  
Project Date: FEBRUARY 2026  
CAD File Data  
File name:  
plot date:  
Drawing No: A104



Brien McMahon High School, Norwalk, Connecticut, USA



Lakeside High School, Lake Elsinore, California, USA



Mount Mercy University Athletic Complex, Cedar Rapids, Iowa, USA



James Madison University, Harrisonburg, Virginia, USA

## Floyd Central High School Softball

Floyds Knobs, IN

Sales Representative: Mark Lusch · Designed By: Sammi Yelkin · Design No.: 247409C-prod · May 11, 2026

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# Floyd Central High School Softball

Floyds Knobs, IN

## LIGHTING SYSTEM

### Structure/Fixture Summary

Structure ID	Structure Height	Fixt. Attachment Ht.	Fixture Qty	Fixture Type	Design Load	Circuit
A1-A2	60'	60'	1	TLC-LED-550	0.53 kW	A
		60'	3	TLC-LED-900	2.64 kW	A
		16'	1	TLC-BT-575	0.57 kW	A
B1-B2	70'	70'	4	TLC-LED-1500	5.64 kW	A
		16'	2	TLC-BT-575	1.15 kW	A
<b>4</b>			<b>22</b>		<b>21.06 kW</b>	

\*Fixtures in this design have dimmed output values to meet design specific needs.

### Circuit Summary

Circuit	Description	Design Load	Fixture Qty
A	Softball	21.06 kW	22

### Fixture Type Summary

Type	Circuit	Source	Avg. Wattage	Avg. Lumens	L90	L80	L70	Quantity
TLC-BT-575	A	LED 5700K - 75 CRI	575W	52,217	>120,000	>120,000	>120,000	6
TLC-LED-1500	A	LED 5700K - 75 CRI	1410W	181,000	>120,000	>120,000	>120,000	8
TLC-LED-550	A	LED 5700K - 75 CRI	527W	68,495	>120,000	>120,000	>120,000	2
TLC-LED-900	A	LED 5700K - 75 CRI	880W	104,000	>120,000	>120,000	>120,000	6

### Single Fixture Amperage Draw Chart

Driver Specifications (.90 min power factor)	Line Amperage Per Fixture (max draw)							
	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)	
Single Phase Voltage								
TLC-LED-1500	8.4	7.9	7.3	6.3	5.0	4.6	3.6	
TLC-LED-900	5.2	4.9	4.5	3.9	3.1	2.9	2.3	
TLC-BT-575	3.3	3.2	2.9	2.5	2.0	1.8	1.5	
TLC-LED-550	3.2	3.0	2.8	2.4	1.9	1.8	1.4	

\*Amp draw based on 100% fixture output, consult design specific datasheet for adjusted amperage draw chart

### Light Level Summary

#### Calculation Grid Summary

Grid Name	Calculation Metric	Illumination Ave					Circuits	Fixture Qty
		Ave	Min	Max	Max/Min	Ave/Min		
Softball (Infield)	Horizontal Illuminance	50.69	36.5	61.3	1.68	1.39	A	22
Softball (Outfield)	Horizontal Illuminance	31.97	20.1	45.2	2.25	1.59	A	22

**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions.

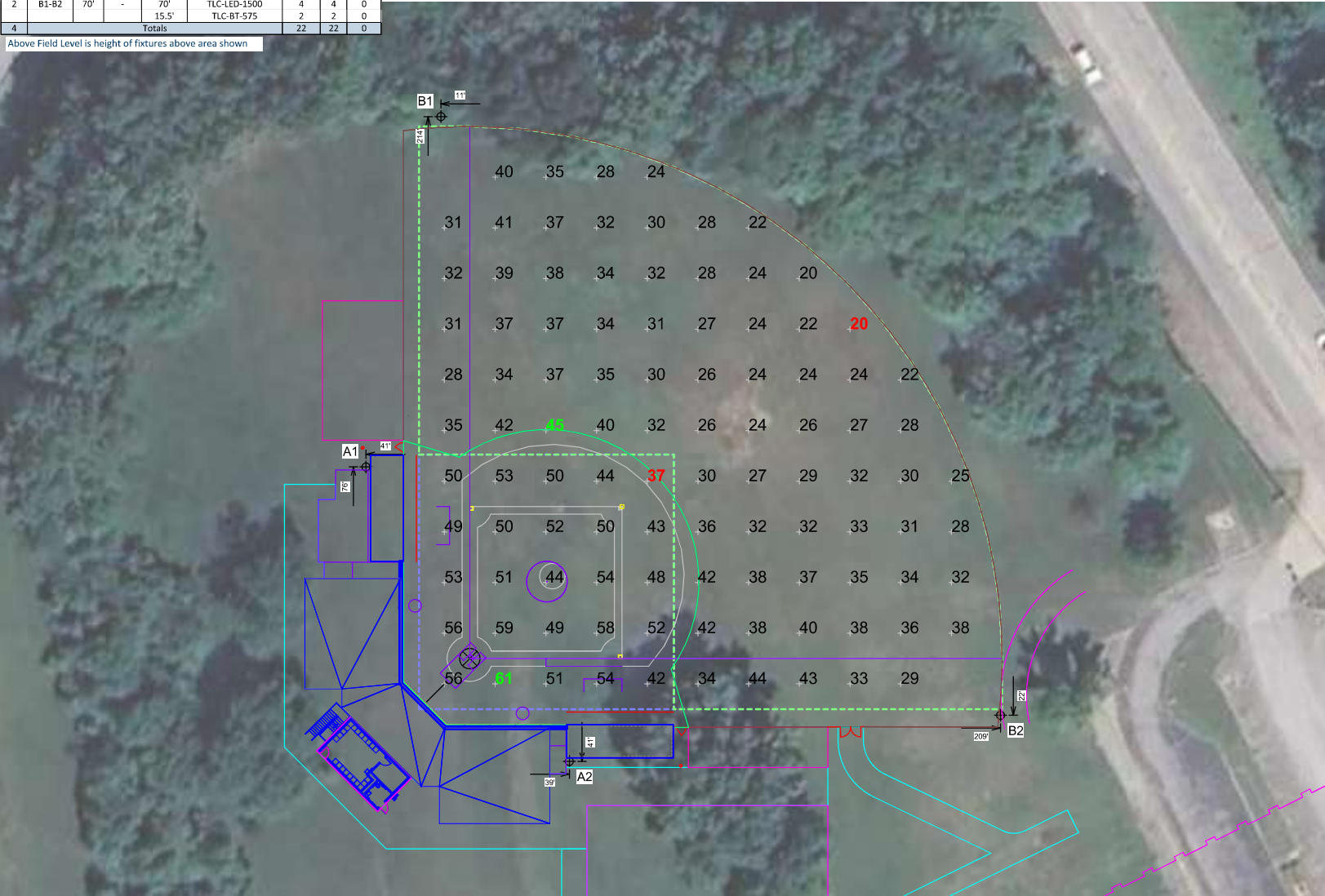
**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Equipment List For Areas Shown								
Structure				Fixtures				
QTY	STRUCTURE ID	SIZE	GRADE ELEVATION	ABOVE FIELD LEVEL	FIXTURE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
2	A1-A2	60'	-	60'	TLC-LED-550	1	1	0
				60'	TLC-LED-900	3	3	0
				15.5'	TLC-BT-575	1	1	0
2	B1-B2	70'	-	70'	TLC-LED-1500	4	4	0
				15.5'	TLC-BT-575	2	2	0
				Totals		22	22	0

Above Field Level is height of fixtures above area shown



### Floyd Central High School Softball

Floyds Knobs, IN

Grid Summary	
Name:	Softball
Size:	210'/210'/210' - basepath 60'
Spacing:	20.0' x 20.0'
Height:	3.0' above grade

	MAINTAINED HORIZONTAL FOOTCANDLES	
	Infield	Outfield
<b>Guaranteed Average:</b>	<b>50</b>	<b>30</b>
Scan Average:	50.69	31.97
Maximum:	61.3	45.2
Minimum:	36.5	20.1
Avg/Min:	1.39	1.59
<b>Guaranteed Max/Min:</b>	<b>2</b>	<b>2.5</b>
Max/Min:	1.68	2.25
UG (adjacent pts):	1.28	1.34
CU:	0.59	
CV:	0.11	0.19
No. of Points:	25	77
<b>FIXTURE INFORMATION</b>		
Applied Circuits:	A	
No. of Fixtures:	22	
Total Load:	21.06 kW	

**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

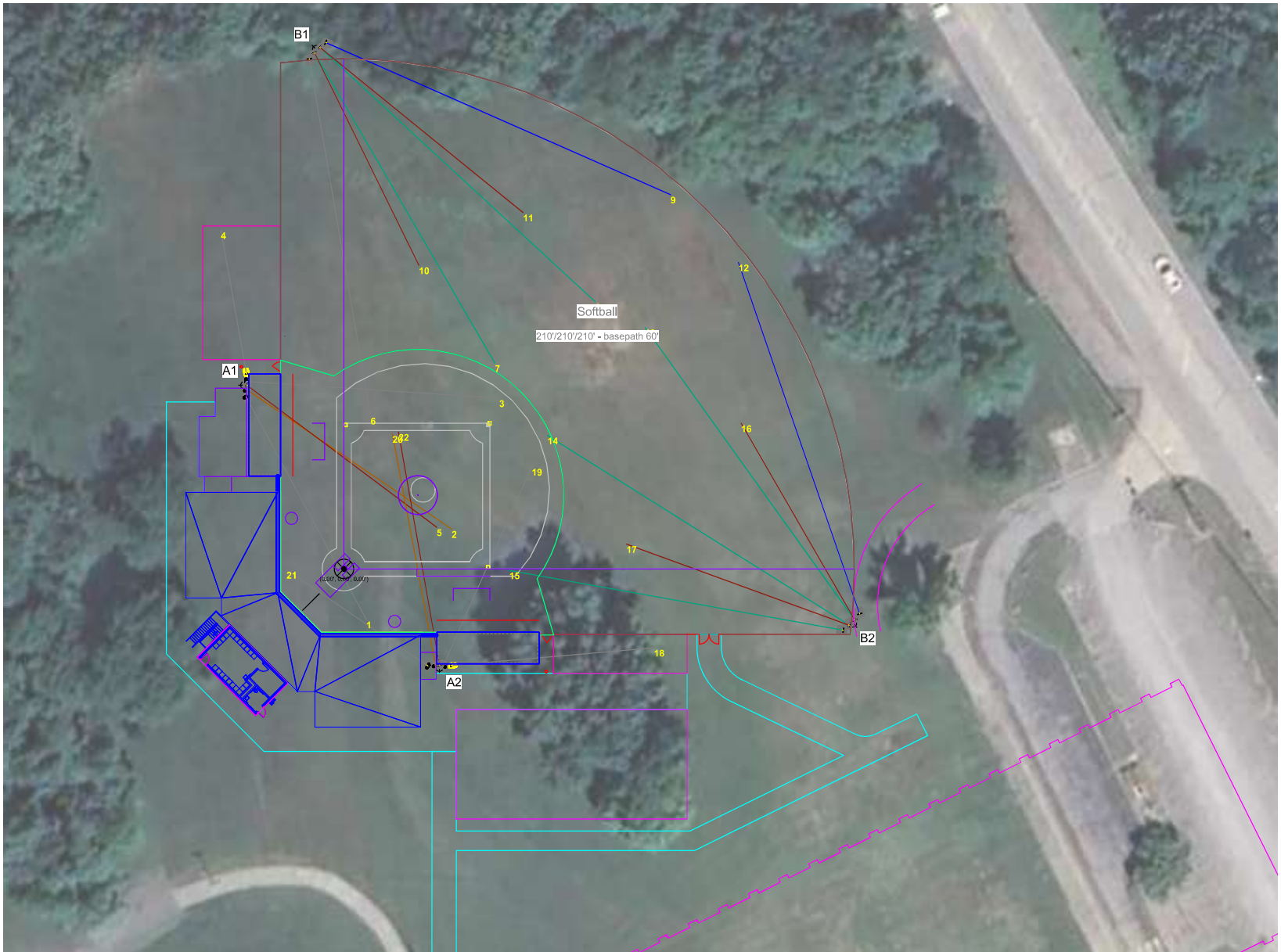


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Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗





**Floyd Central High School Softball**

Floyds Knobs, IN

**Equipment Layout**

**INCLUDES:**  
- Softball

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

**Equipment List For Areas Shown**

QTY	Structure			Fixtures		
	STRUCTURE ID	SIZE	GLOBAL ELEVATION	ABOVE GLOBAL LEVEL	FIXTURE TYPE	
2	A1-A2	60'	-	60'	TLC-LED-550	1
				60'	TLC-LED-900	3
				15.5'	TLC-BT-575	1
2	B1-B2	70'	-	70'	TLC-LED-1500	4
				15.5'	TLC-BT-575	2
4	Totals					22

Above Global Level is height of fixtures above design (0,0,0)

**Single Fixture Amperage Draw Chart**

Driver Specifications (.90 min power factor)	Line Amperage Per Fixture (max draw)						
	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
Single Phase Voltage	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
TLC-LED-1500	8.4	7.9	7.3	6.3	5.0	4.6	3.6
TLC-LED-900	5.2	4.9	4.5	3.9	3.1	2.9	2.3
TLC-BT-575	3.3	3.2	2.9	2.5	2.0	1.8	1.5
TLC-LED-550	3.2	3.0	2.8	2.4	1.9	1.8	1.4

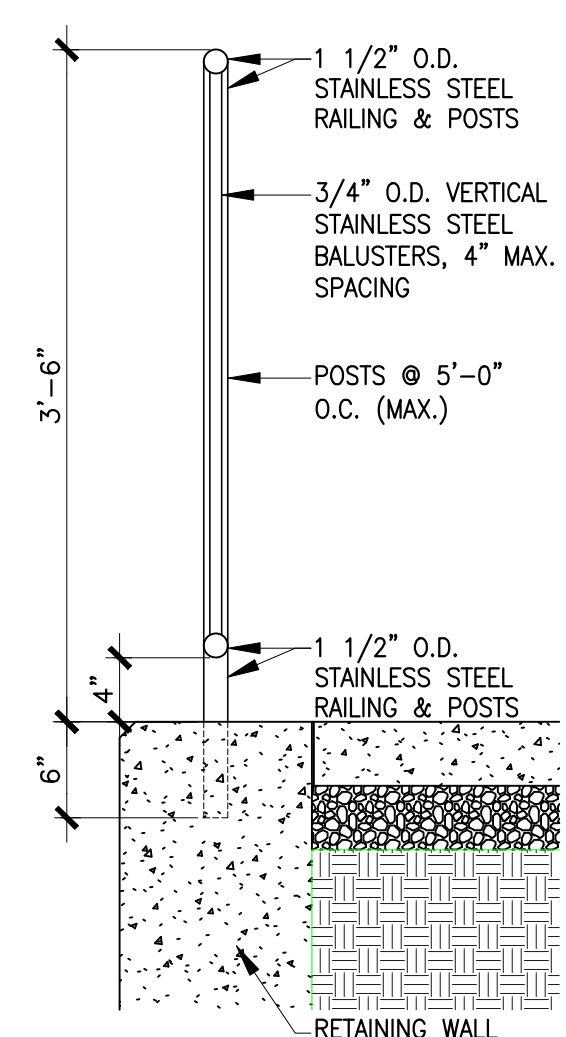
\*Amp draw based on 100% fixture output, consult design specific datasheet for adjusted amperage draw chart

SCALE IN FEET 1 : 40  
0' 40' 80'  
ENGINEERED DESIGN By: Sammi Yelkin • File #247409C-prod • 11-May-26

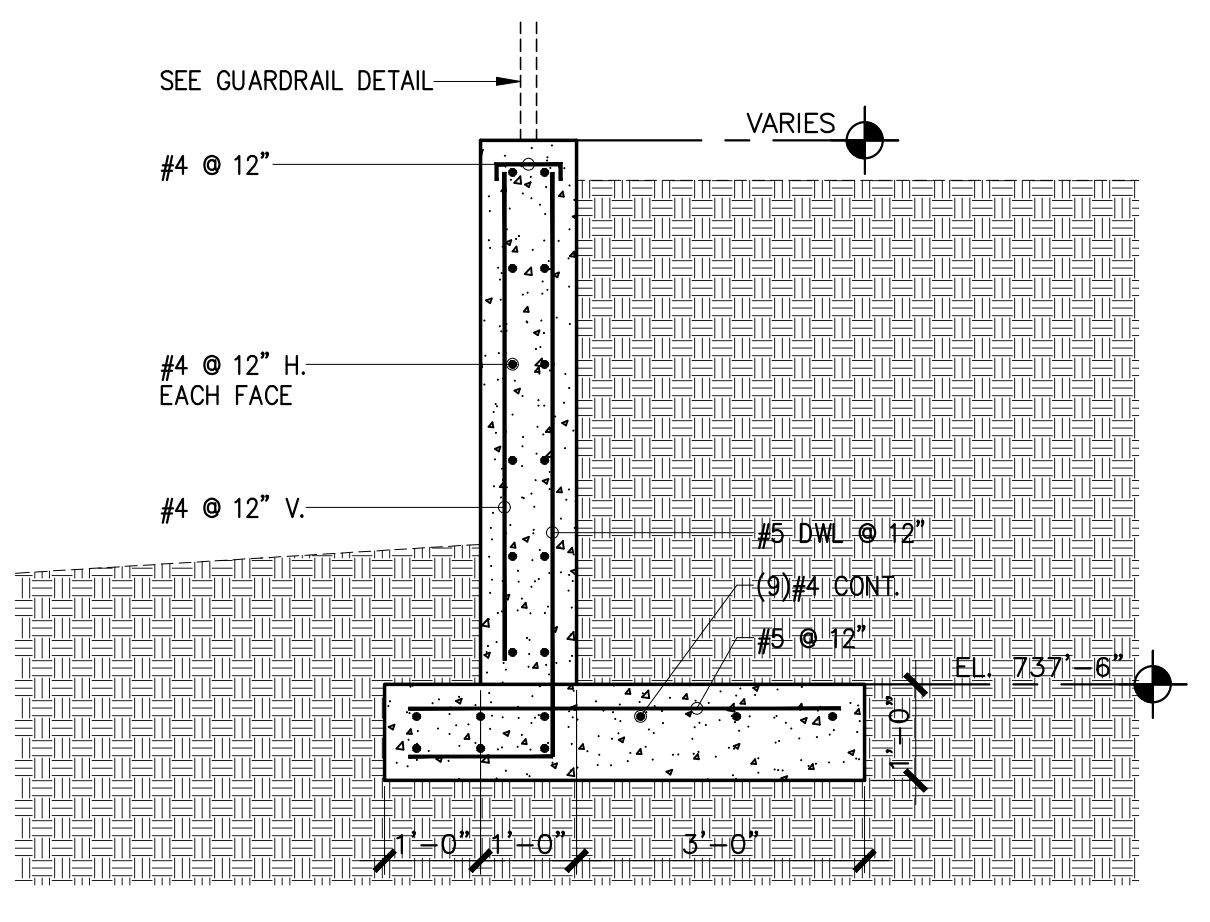
Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



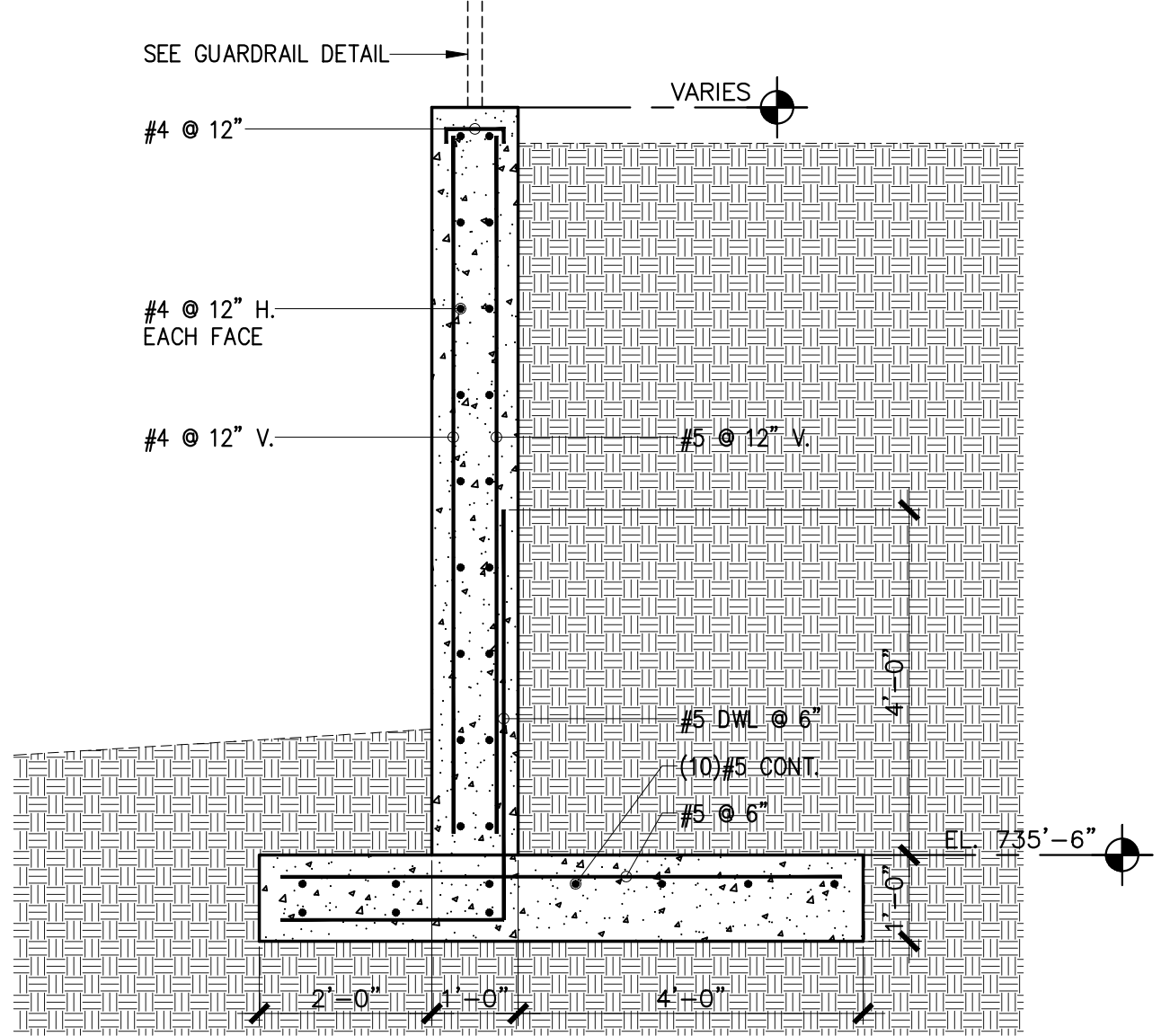
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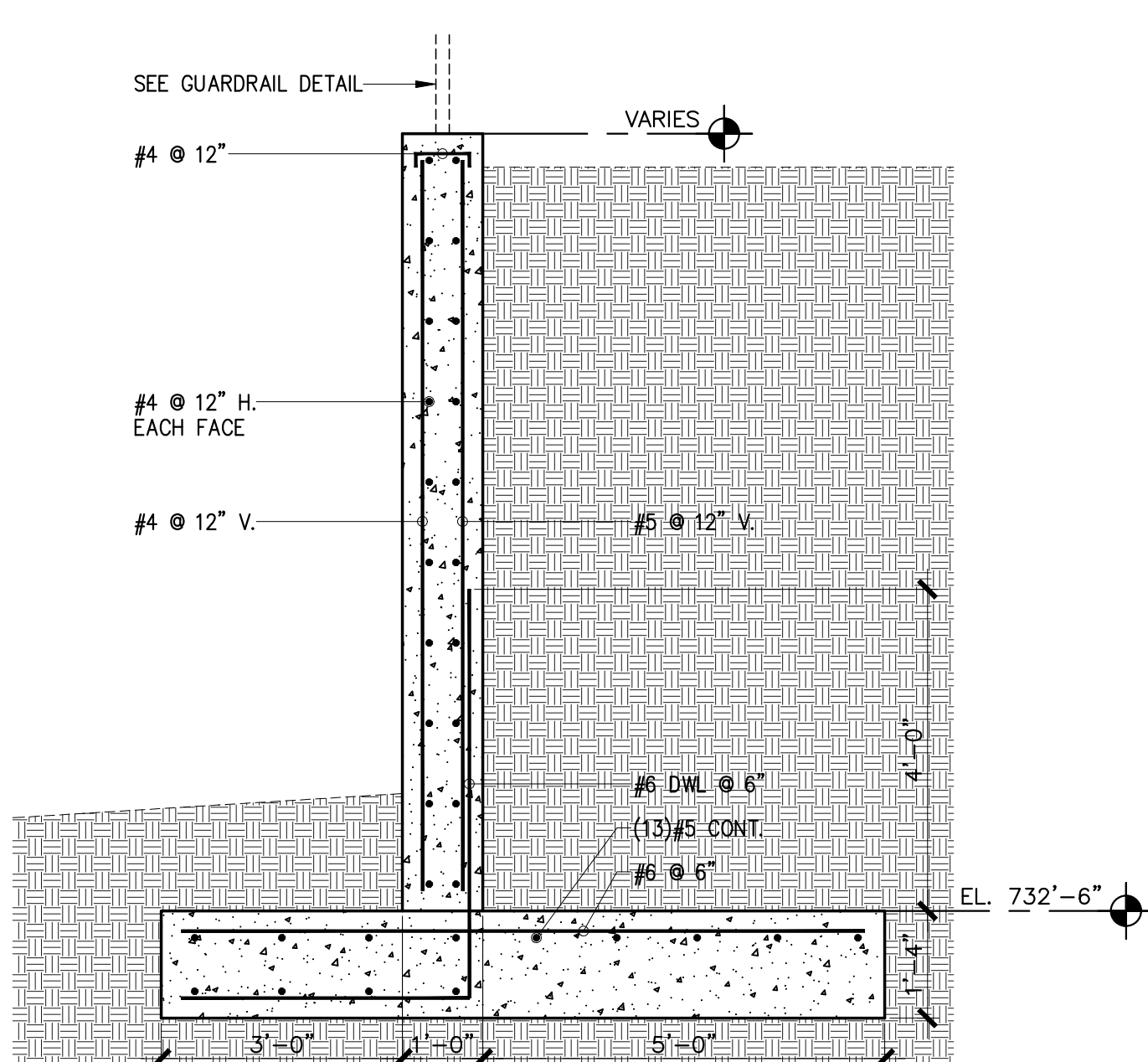
**10 GUARDRAIL DETAIL**  
SCALE: 1" = 1'-0"



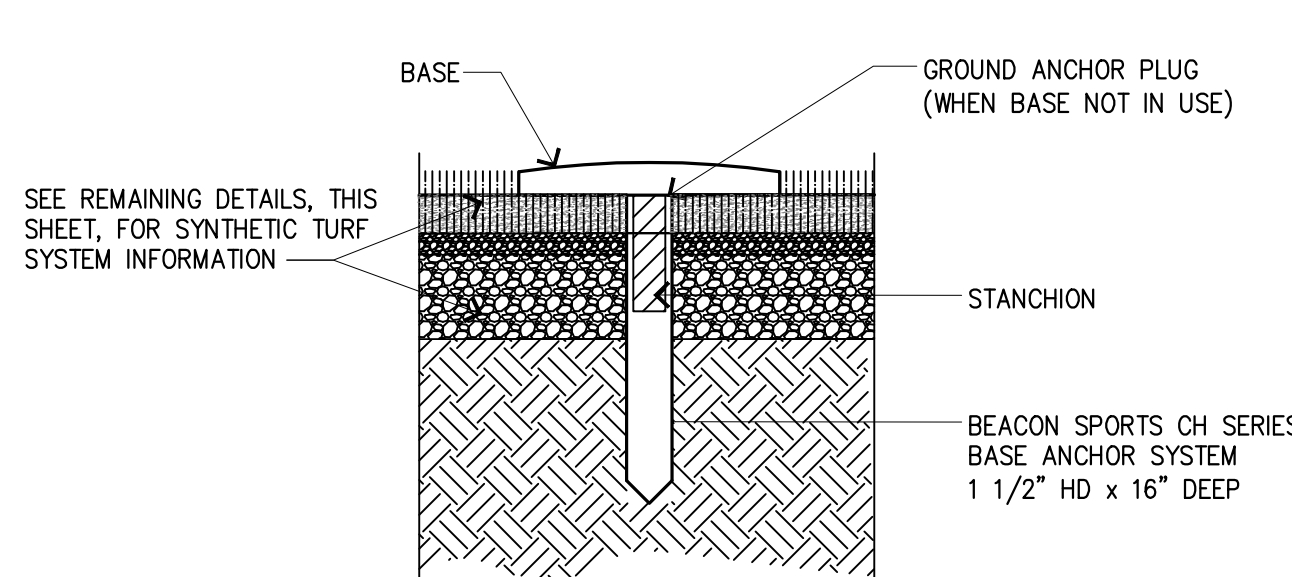
**9 RETAINING WALL SECTION**  
SCALE: 1/2" = 1'-0"



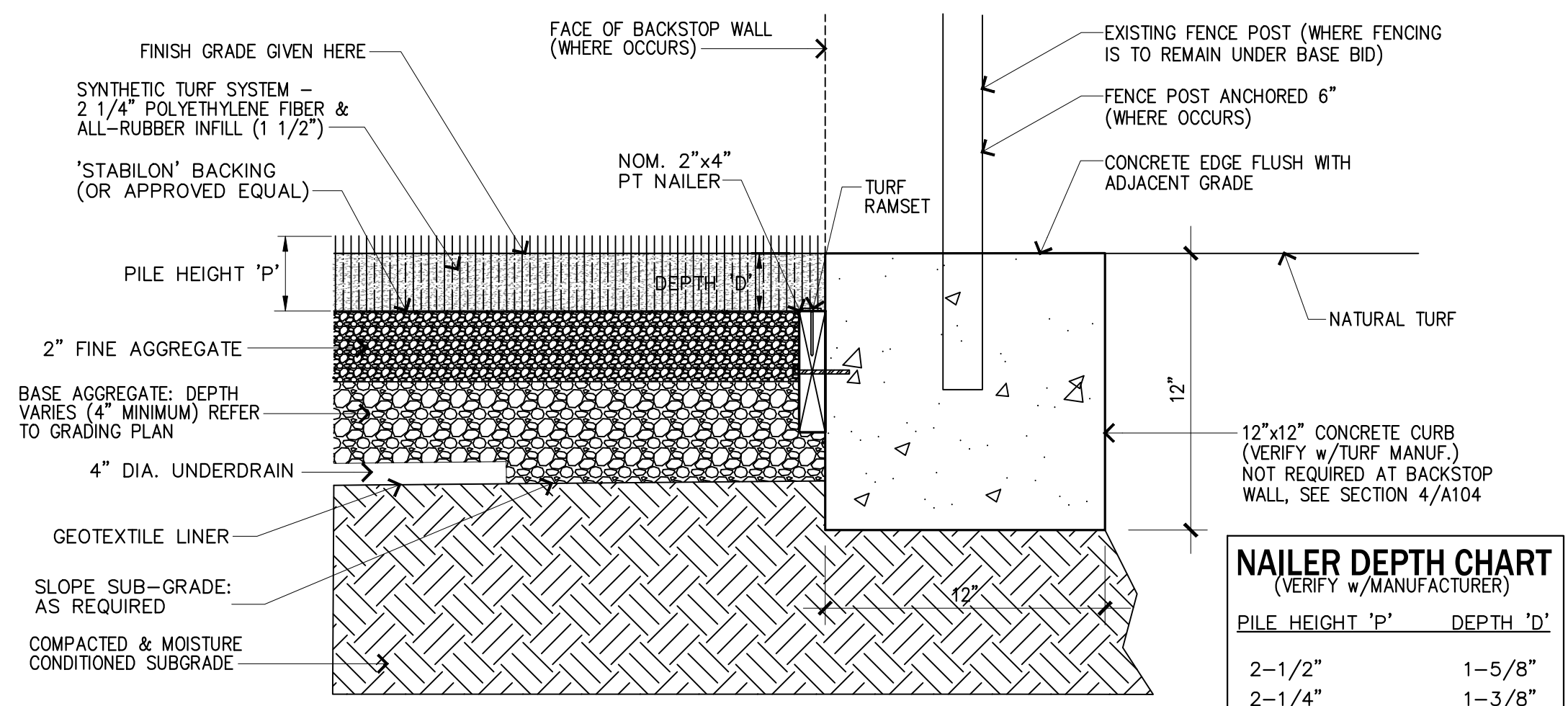
**8 RETAINING WALL SECTION**  
SCALE: 1/2" = 1'-0"



**7 RETAINING WALL SECTION**  
SCALE: 1/2" = 1'-0"



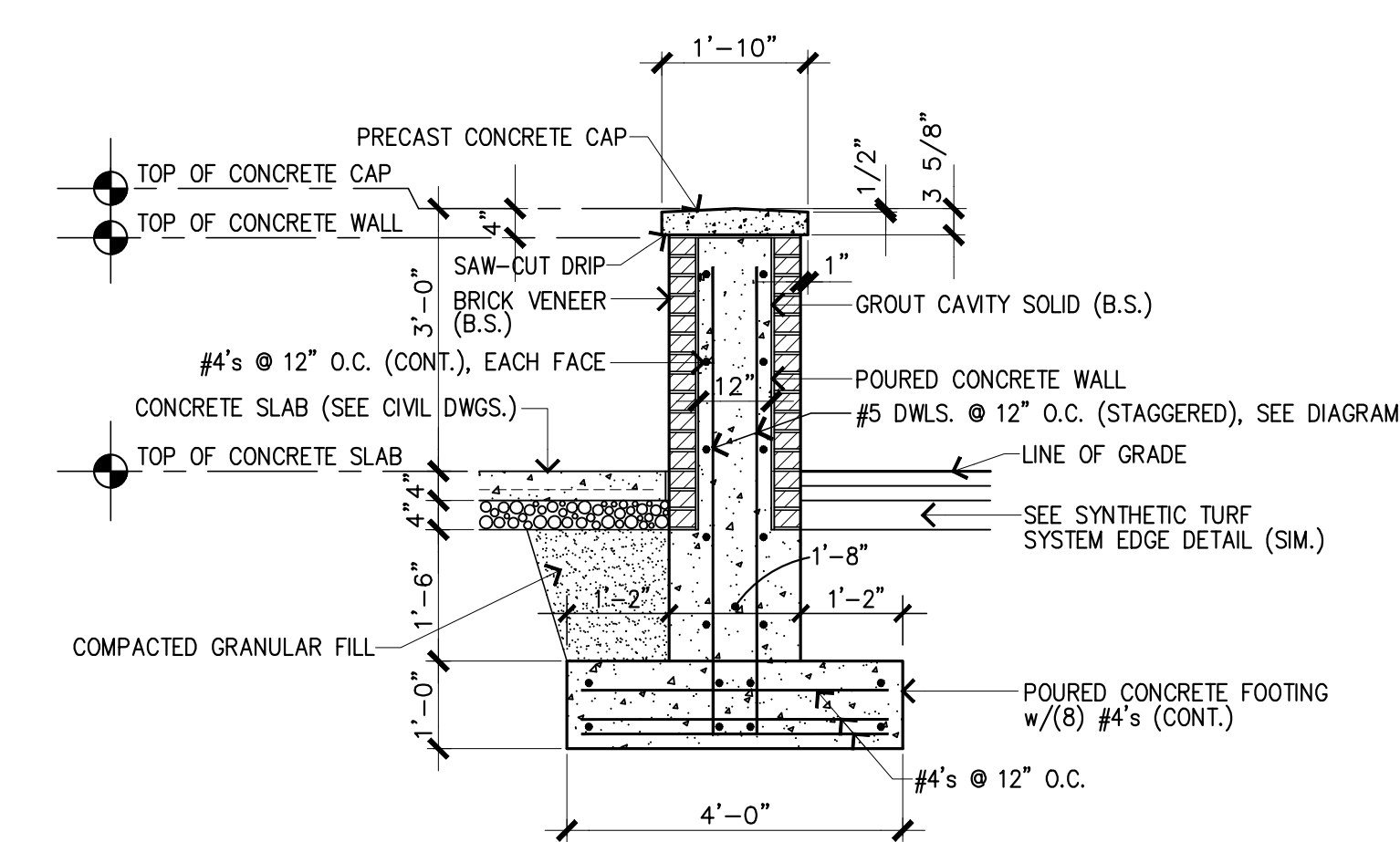
**5 BASE ANCHOR DETAIL**  
NOT TO SCALE



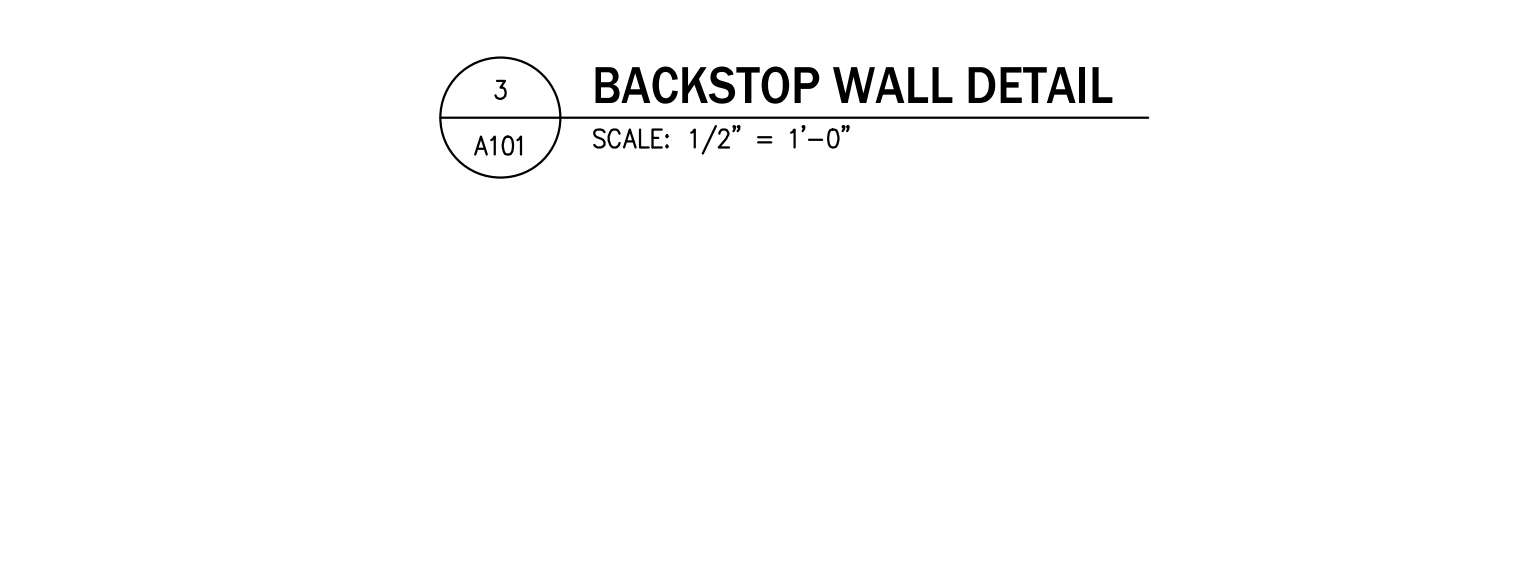
**4 SYNTHETIC TURF EDGE DETAIL**  
NOT TO SCALE

**NAILER DEPTH CHART**  
(VERIFY W/MANUFACTURER)

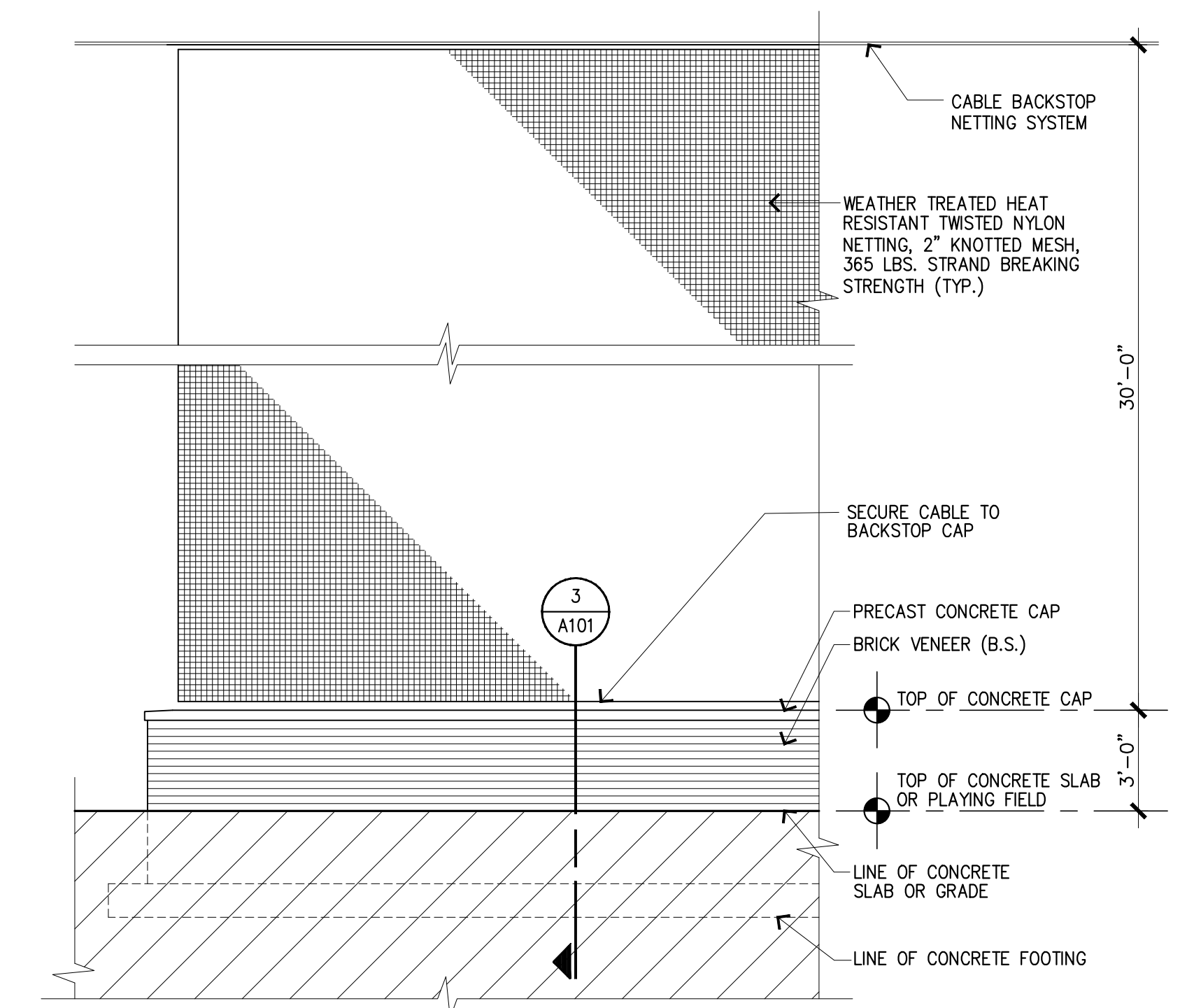
PILE HEIGHT 'P'	DEPTH 'D'
2-1/2"	1-5/8"
2-1/4"	1-3/8"
2"	1-1/8"



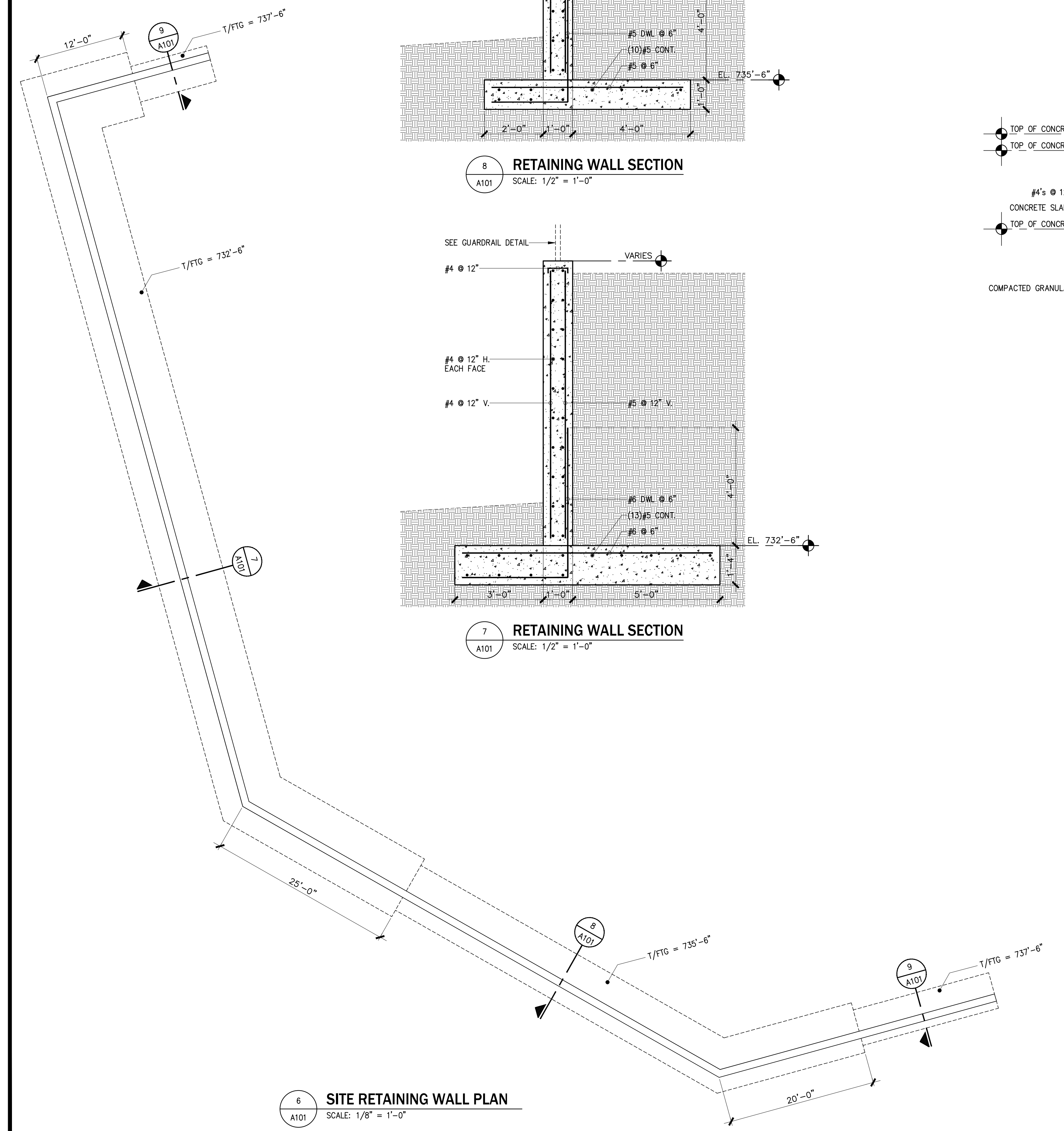
**#5 DOWELS DIAGRAM**  
(L=7'-4")



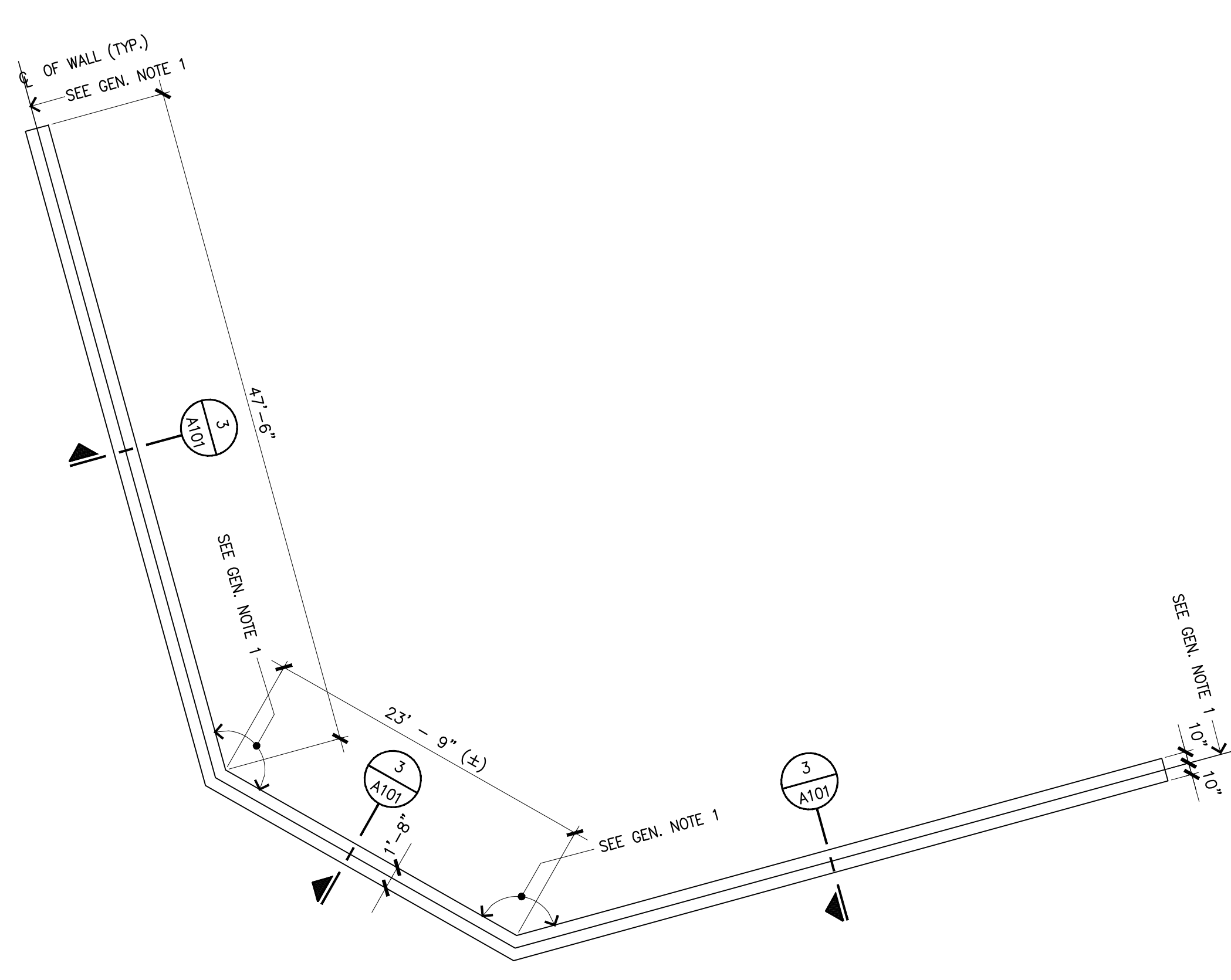
**3 BACKSTOP WALL DETAIL**  
SCALE: 1/2" = 1'-0"



**2 PARTIAL BACKSTOP ELEVATION**  
SCALE: 1/4" = 1'-0"



**6 SITE RETAINING WALL PLAN**  
SCALE: 1/8" = 1'-0"



**1 SOFTBALL BACKSTOP PLAN**  
SCALE: 1/8" = 1'-0"

NOTE: WALL DIMENSIONS ARE TAKEN TO FACE OF BRICK (TYP.)

**GENERAL NOTES:**

- COORDINATE BACKSTOP WALL LAYOUTS WITH FIELD PLANS. CENTERLINE OF WALL/POSTS SHALL MATCH CENTERLINE OF EXISTING FENCE LINE. VERIFY EXACT CONFIGURATION IN FIELD.
- COORDINATE ALL SYNTHETIC TURF EDGE DETAILS WITH SYNTHETIC TURF MANUFACTURER'S REQUIREMENTS.

**REFERENCE NOTES:**

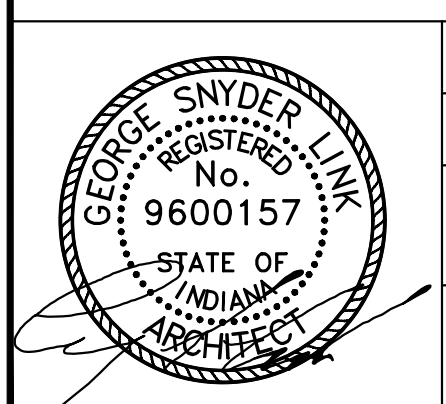
- PVC SLEEVE PLACED IN WALL TO ALLOW FOR MOVEMENT OF POST DUE TO WIND LOADING.  
5" DIA. AT 4' POSTS  
4" DIA. AT 2 7/8' POSTS
- INDICATES 4" DIA. DQ 40 TERMINAL POST
- INDICATES 2 7/8" DIA. DQ 40 LINE POST
- INDICATES 3/8" DIA. TRUSS ROD (SEE ELEVATION 3/A104)
- WEATHER TREATED HEAT RESISTANT TWISTED NYLON NETTING, 2" KNOTTED MESH, 365 LBS. STRAND BREAKING STRENGTH
- INDICATES S.S. CLAMPS @ 18" O.C. (SEE ELEVATION 3/A104)

**VPS ARCHITECTURE**

528 Main Street - Suite 400 Evansville Indiana 47708  
P (812) 423-7729 F (812) 425-4561  
www.VPSARCH.com

**FLOYD CENTRAL HIGH SCHOOL  
SOFTBALL FIELD - REBID**

NEW ALBANY FLOYD COUNTY SCHOOLS  
FLOYD'S KNOBS, INDIANA  
Drawing Title:  
**BACKSTOP PLANS & DETAILS, FIELD TURF DETAILS,  
& RETAINING WALL PLAN & SECTIONS**



Project No: 2025026.00  
Project Date: FEBRUARY 2026  
CAD File Date  
File Name:  
Plot Date:  
Drawing No:  
**A101**



**Floyd County**  
**Department of Building & Development Services**  
2524 Corydon Pike Suite 203  
New Albany, IN 47150  
Phone: (812) 981-7611  
Fax: (812) 948-4744  
Building@floydcounty.in.gov

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## Conditional Use Application

**Please Note:**

*This Application is a document of public record. Any information disclosed on this application is available for review by the public. Incomplete applications will not be accepted. A pre-submission meeting with Building and Development Staff is strongly encouraged. Please contact the office at 812-981-7611 to schedule a meeting.*

**Conditional Use:** *A use permitted in a particular base zoning district when it is shown that such use in a specified location will comply with all the conditions and standards for the location or operation of the use as specified in the zoning ordinance and authorized by the approving authority.*

**1. General Information:**

Applicant:	
Applicant Address:	
Applicant Phone:	
Applicant Email:	

**Applicant's Interest in Property:**

Owner      Option Holder      Purchase Agreement      Legal Representative      Other

**Owner(s) of Property: (complete this section if *owner* is different than applicant)**

Owner Name:	
Owner Address:	
Owner Phone:	
Owner Email:	

**Applicant's Representative:**

Representative Name:	
Representative Address:	
Representative Phone:	
Representative Email:	

**2. Site Information:**

Parcel ID Number:	
Total Acreage:	
Address of Property/Location:	
Current Use of Property:	
Current Zoning District:	

**3. Conditional Use Request:**

Detail the conditional use request:

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**4. Conditional Use Justification:**

The Floyd County Zoning Ordinance establishes specific criteria that each must be met in order for a conditional use to be approved. Describe how the conditional use requested meets each of the following criteria:

*1. The conditional use will not be injurious to the public health, safety, morals, and general welfare of the community:*

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*2. The use and value of area adjacent to the property will not be adversely affected:*

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*3. The need for the Conditional Use does not result from conditions, unusual or peculiar to the subject property itself:*

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4. The strict application of the terms of the Floyd County Zoning Ordinance would result in an unnecessary hardship in the use of the property:

The existing softball field is located in the floodway. FEMA and DNR regulations restrict the improvement of the softball facility in its current location, so it must be moved to higher ground.

5. Approval of the Conditional Use will not contradict the goals and objectives of The Floyd County Comprehensive Plan:

The Comprehensive Plan is generally supportive of public education and youth athletics.

5. Required Documents:

- \$450.00 Filing Fee (\$1000.00 for Confined Feed Operation, Junk Yard, Sanitary Land Fill, or Sanitary Sewer Treatment Plant) Fee Waived per F. Walden via email 05/14/26, 12:30 PM
- Deed for subject property
- Affidavit of Ownership (if applicable)
- Site plan drawn to scale, signed, and dated which clearly shows the entire layout of the property and all features relevant to the request.
- Floor plan, including specific dimensions for any buildings on the property subject to the conditional use.
- Cover letter summarizing the request.
- For proposals using septic systems, a letter from the Floyd County Health Department shall be provided verifying that any proposed development makes appropriate use of the septic system.
- For proposals using sanitary sewer systems, a letter from the service provider shall be included verifying that any proposed new development will be served.

6. Signature:

The undersigned states that the above information is true and correct.

Name: Andy Knust

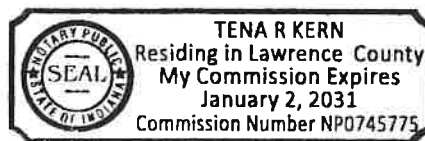
Signature: [Handwritten Signature]

Date: 05/20/2026

SUBSCRIBED AND SWORN BEFORE ME

THIS 20<sup>th</sup> DAY OF May, 2026.

Tena R. Kern



NOTARY PUBLIC COUNTY OF Monroe

MY COMMISSION EXPIRES 1-2-2031



Floyd County Plan Commission  
Floyd County Board of Zoning Appeals

## AFFIDAVIT OF OWNERSHIP

*If the owner(s) of the subject property are giving authorization for someone else to apply for this request, this attached attachment is to be completed and submitted at the time of the application.*

I (We), \_\_\_\_\_, do hereby certify that I am (we are)  
(Owners of subject property)

the owner(s) of the property legally described as \_\_\_\_\_,  
(Parcel ID Number)

And hereby certify that I (we) have given authorization to \_\_\_\_\_,  
(Applicant/Petitioner/Representative)

To apply for the included application on this subject property.

**Name of Owner(s):**

**Parcel I.D. No:**

**Signature:**

**Date:**



STATE OF \_\_\_\_\_ )

) SS:

COUNTY OF \_\_\_\_\_ )

Subscribed and sworn to before me, a Notary Public within and for said County and State,

this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

MY COMMISSION EXPIRES:

\_\_\_\_\_

\_\_\_\_\_

Notary Public

MY COUNTY OF RESIDENCE:

\_\_\_\_\_

\_\_\_\_\_

Printed Signature

# Bledsoe Riggert Cooper James

LAND SURVEYING • CIVIL ENGINEERING • GIS

May 20, 2026

Frank Walden  
County Planner  
Floyd County Government

via email [fwalden@floydcounty.in.gov](mailto:fwalden@floydcounty.in.gov)

RE: New Albany Floyd County Consolidated School Corporation  
Floyd Central Softball Field  
Conditional Use Cover Letter

Dear Frank:

New Albany Floyd County Consolidated School Corporation (NAFCS) is submitting a Conditional Use Application to the Board of Zoning Appeals as a requirement per the County Planning department. NAFCS is proposing to use the property zoned Rural Residential for a softball field. This location once held Galena Elementary School, until 2013-2014 when the elementary school was torn down. The adjacent parcel, which has the same owner, is currently used as Floyd Central High School. We believe that this project will not impact neighboring properties as the adjacent parcel already features athletic facilities. The proposed project will improve facility conditions for the high school softball team, and promote sportsmanship, fitness, and community welfare.

Sincerely,



Andrew E Knust, PE  
Senior Engineer, Partner



# **NEW ALBANY FLOYD COUNTY SCHOOLS**

To Whom It May Concern,

This letter is to confirm that the proposed connection to the existing sanitary sewer system has been reviewed by New Albany Floyd County Schools (NAFCS).

The existing pump station serving this area is owned and maintained by NAFCS. Based on our review, the current pump station and sewer infrastructure have sufficient capacity to accommodate the additional anticipated load associated with the proposed connection.

Therefore, NAFCS has no objection to the connection into the existing sewer system, provided all work is completed in accordance with applicable local regulations, permitting requirements, and approved construction standards.

If you have any questions or require additional information, please contact our office.

Sincerely,

Joe Voelker, Ph.D.  
Chief Operating Officer  
New Albany/Floyd County Schools  
Email: [jvoelker@nafcs.org](mailto:jvoelker@nafcs.org)  
(812) 542-2105

# HERITAGE ENGINEERING, LLC

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May 15<sup>th</sup>, 2026

Chris Moore  
Floyd County Stormwater Department  
Pine View Government Center  
2524 Corydon Pike, Suite 201  
New Albany, IN 47150

**Re: Floyd Central Softball Field**

Dear Mr. Moore:

We received plans for the above-referenced project on 11/5/25, with supplemental and revised design submittals on 2/3/26, 4/3/26 and 5/7/26.

Based upon the information provided and the correspondence during the review process, we have found the drainage plans to be in general conformance with the Floyd County Stormwater Design Manual (October 2025, Version).

We recommend conditional approval of the submitted drainage plans sealed by Andrew knust. Approval is contingent upon the Floyd County Stormwater Department receiving the appropriate documentation and all other requested material. Approval is also contingent upon the proposed outlet control structures working as designed and there are no issues with clogging. If it is found that the system does not work as designed, the applicant will be responsible for redesigning and replacing the outlet structure to emulate industry standards. And, if there are any issues with the performance of the roadside ditch(es), Floyd County will require them to be redesigned and reworked at the expense of the applicant. This may include downstream improvements outside of the project area but inside of rights-of-way and/or easements.

Approval of plans shall not relieve the designer or developer from required compliance with the provisions of the design manual unless a written variance is received from Floyd County. Approval of plans does not constitute a waiver of any requirements to follow Floyd County's standards, specifications and requirements and all applicable laws, rules, and regulations. Floyd County has based its approval of the application upon the assumption that all Floyd County standards, specifications and requirements and all applicable laws, rules and regulations have been and will be followed, both in preparation of the application and plans and in performance of work under an issued permit.

Thank You,

*Audrey Doherty*

Audrey Doherty  
Email: [adoherty@heritageeng.com](mailto:adoherty@heritageeng.com)